

JACOBS - Drawing set REF2 - Cover Page



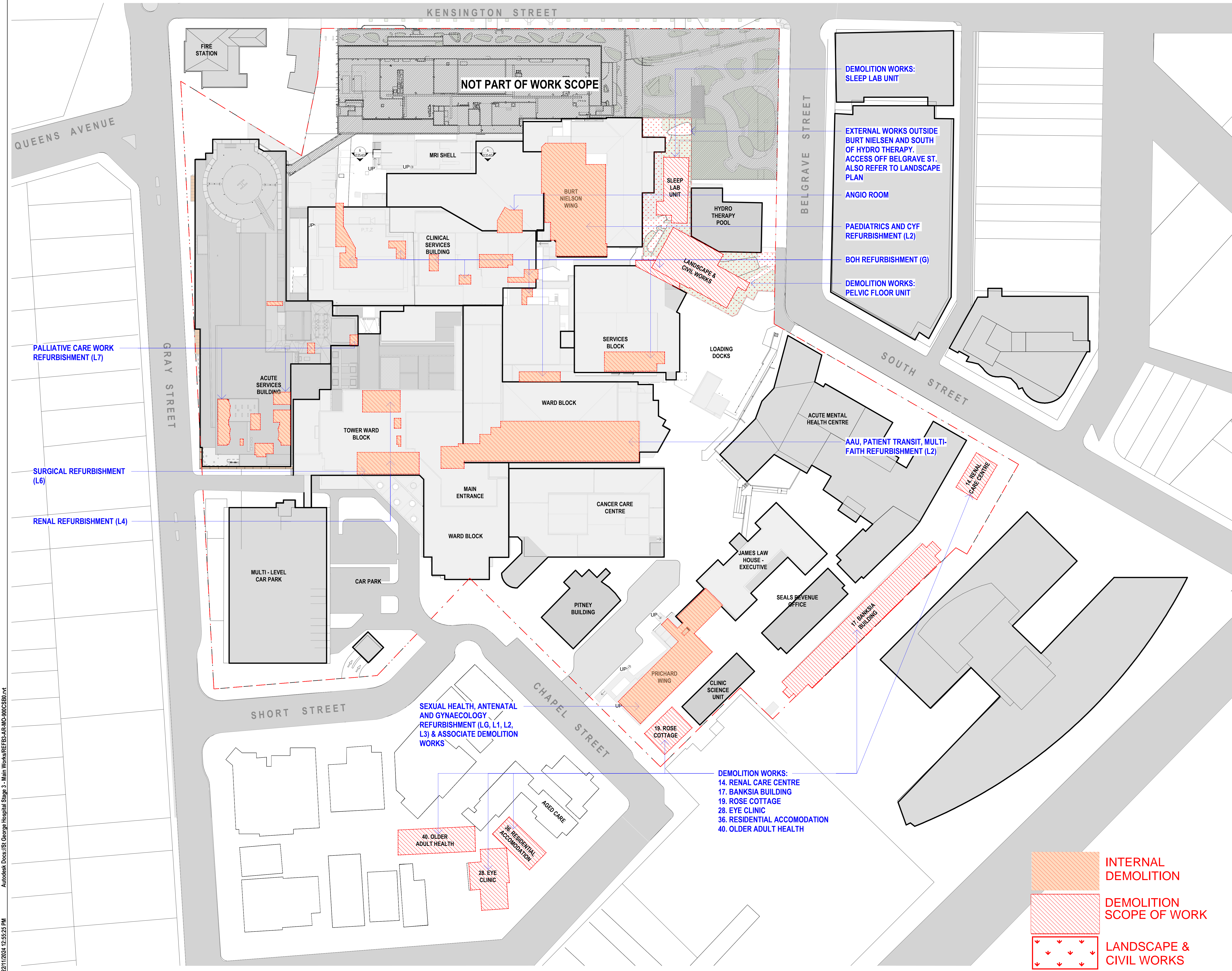
Scope item #	Scope item	Location	Level	Drawings for demolition	Drawings for refurbishment works	Drawings for Expansion
1	EXTERNAL WORKS - ACCESS OFF BELGRAVE ST.	OUTSIDE BURT NIELSEN AND SOUTH OF HYDRO THERAPY	Ground floor	REF2-AR-DG-R1801	REF2-AR-DG-R15G1 REF2-AR-DG-R1511 REF2-AR-DG-R1704 REF2-AR-DG-R1705	N/A
2	PAEDIATRICS AND CYF REFURBISHMENT (L2)	BURT NIELSEN WING	Level 2	REF2-AR-DG-R1825	REF2-AR-DG-R1521	N/A
3	BACK OF HOUSE REFURBISHMENT (G)	CLINICAL SERVICES BUILDINGS	Ground floor	REF2-AR-DG-R1820	REF2-AR-DG-R15G1 REF2-AR-DG-R1511	REF2-AR-DG-R4001 REF2-AR-DG-R4002
4	AAU, PATIENT TRANSIT, MULTI-FAITH REFURBISHMENT (L2)	TOWER WARD BLOCK	Level 2	REF2-AR-DG-R1824	REF2-AR-DG-R1521	N/A
5	SEXUAL HEALTH, ANTENATAL AND GYNAECOLOGY REFURBISHMENT (LG, L1, L2, L3) & ASSOCIATE DEMOLITION WORKS	PRICHARD WING	Ground floor Level 1 Level 2 Level 3	REF2-AR-DG-R1821 REF2-AR-DG-R1822 REF2-AR-DG-R1823	REF2-AR-DG-R15G0	N/A
6	RENAL REFURBISHMENT (L4)	TOWER WARD BLOCK	Level 4	REF2-AR-DG-R1824	REF2-AR-DG-R1541	N/A
7	SURGICAL REFURBISHMENT (L6)	TOWER WARD BLOCK	Level 6	REF2-AR-DG-R1824	REF2-AR-DG-R1561	N/A
8	PALLIATIVE CARE WORK REFURBISHMENT (L7)	ACUTE SERVICES BUILDING	Level 7	REF2-AR-DG-R1826	REF2-AR-DG-R1571	N/A
9	FLOUROSCOPY (L1)	BURT NIELSEN WING	Level 1		REF2-AR-DG-R1511	N/A
10	SURGICAL REFURBISHMENT (L6)	TOWER WARD BLOCK	Level 6	REF2-AR-DG-R1824	REF2-AR-DG-R1561	N/A
11	DEMOLITION WORKS	BUILDING #9. PELVIC FLOOR UNIT BUILDING #14. RENAL CARE CENTRE BUILDING #17. BANKSIA BUILDING BUILDING #19. ROSE COTTAGE BUILDING #28. EYE CLINIC BUILDING #32. SLEEP LAB BUILDING #36. RESIDENTIAL ACCOMODATION BUILDING #40. OLDER ADULT HEALTH	Ground floor	REF2-AR-DG-R1801	N/A	N/A

Health Infrastructure



**Determined
Approval**

REF Approval No: 06/2025
Date: 20/05/2025



REV	DATE	REISSUE FOR REF	AMENDMENT
1	21/11/24		

NOTES

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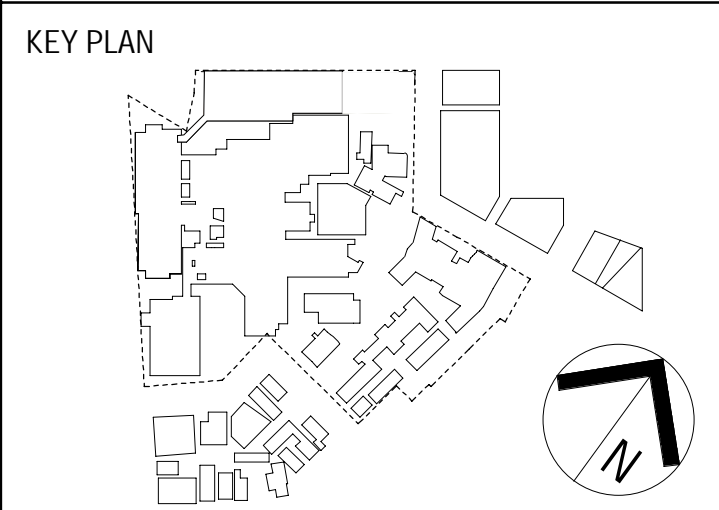
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PROJECT

St George Hospital Stage 3

PROJECT NO.

IA256500

DRAWING TITLE

REFURBISHMENT WORKS -
DEMOLITION PLAN

STATUS

FOR INFORMATION

DRAWN

JACOBS

DESIGNED

GA/TM

CHECKED

WB

APPROVED

CY

SCALE @ B1

1 : 500

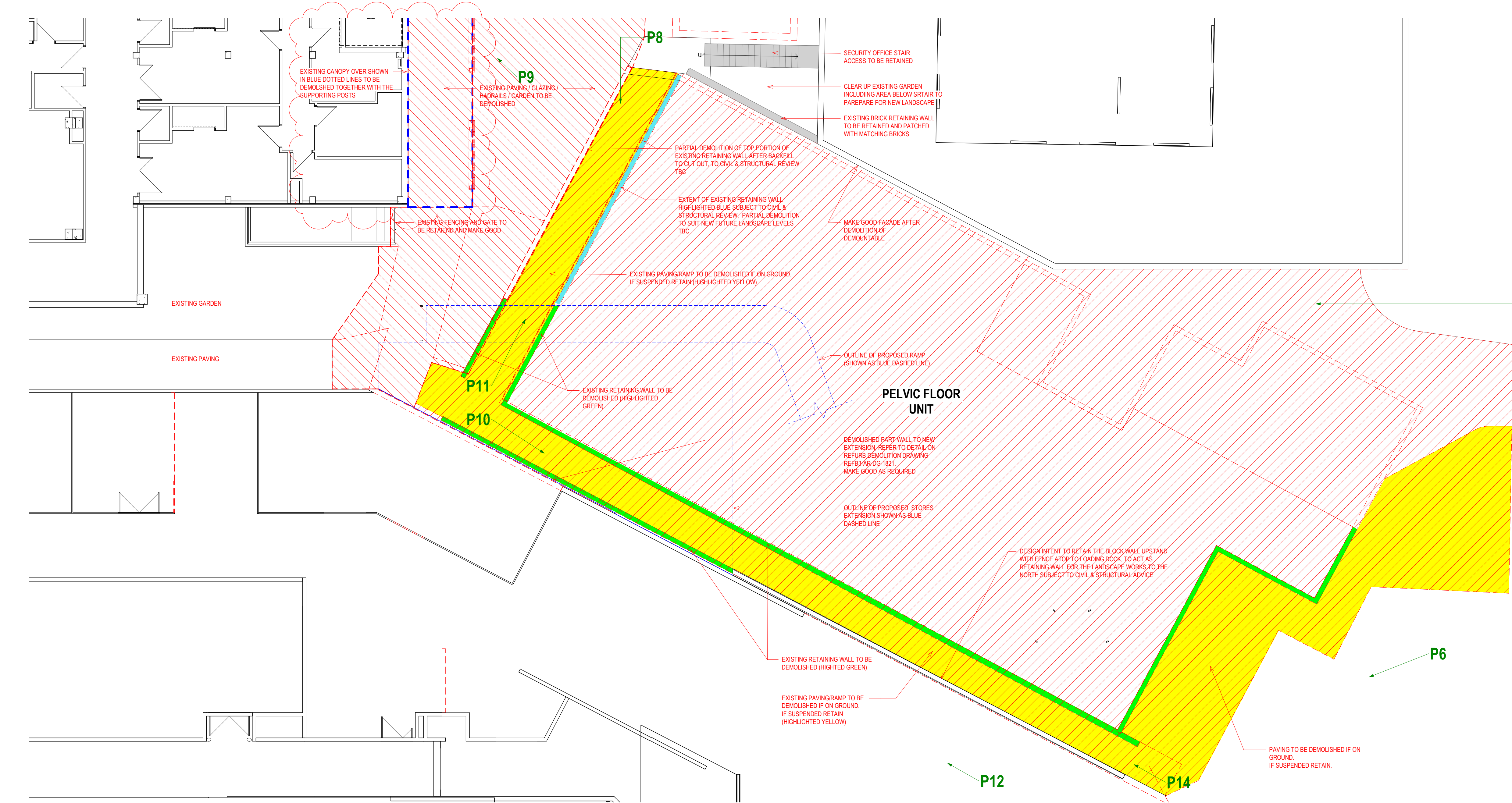
DRAWING NO.

REF2-AR-DG-R1801

REVISION

1

1 PL_D_100_L1 - FORECOURT INTERFACE SOUTH
1708 1:100



DEMOLITION PLAN LEGEND (1800 SERIES DRAWINGS)

- REFER TO DRAWING 001 FOR GENERAL NOTES
- REFER TO SERVICES DRAWINGS FOR SCOPE OF DEMOLITION WORKS FOR SERVICES
- RED IN CONJUNCTION WITH PROPOSED PLANS (15XX AND 22XX SERIES)

AREA ADJACENT TO REFURBISH ZONE - OUT OF SCOPE

GENERAL ITEMS:
EXISTING WALLS / WINDOWS/ DOORS
FIXTURES/ FITTINGS/ JOINERIES/ CEILING/
FINISHES/ FLOOR WASTES TO BE
DEMOLISHED UNLESS NOTED.

ALLOW FOR MAKING GOOD TO CEILING
WHERE CEILING HAS TO BE OPENED UP FOR
SERVICES RETICULATION - REFER TO
SERVICES DOCUMENTATION

ALLOW FOR MAKING GOOD TO SCREED
WITHINT EXISTING WET AREAS - NEW
LEVELING SCREED AS REQUIRED

REFER STRUCTURAL DRAWINGS FOR
REMOVAL OF LINTELS AND SLAB CUTS.
PROTECT RETAINED STRUCTURE. REFER TO
NOTES ON THE DRAWINGS FOR ADDITIONAL
DEMOLITION ITEMS AND OTHER
REQUIREMENTS. ANY STRUCTURAL ELEMENT
TO BE DEMOLISHED TO BE REVIEW &
SIGNED OFF BY STRUCTURAL ENGINEER

REMOVAL OF FLOOR FINISHES AND MAKE
GOOD TO PREPARE FOR NEW WORKS

P1 → PHOTO NUMBERS. REFER DRAWING 1803

NOTES

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REV	DATE	AMENDMENT
B	07/02/25	GENERAL UPDATE
A	04/10/24	ISSUE FOR CONSTRUCTION
3	28/02/24	PROGRESS ISSUE, CSC RAMP & LANDSCAPED AREA
2	08/12/23	100% DD ISSUE
1	14/10/22	TENDER

KEY PLAN



CONSULTANTS



CLIENT



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PROJECT
St George Hospital Stage
3

PROJECT NO.
IA256500

DRAWING TITLE
DEMOLITION PLAN
SHEET 3

STATUS

FOR CONSTRUCTION

DRAWN
Author

DESIGNED
Designer

CHECKED
WB

APPROVED
Approver

SCALE @ B1
As indicated

DRAWING NO.
SGHS3-AR-DG-1803

REVISION
B

P1 ALL TO BE DEMOLISHED



P2 ALL TO BE DEMOLISHED



P3 ALL TO BE DEMOLISHED



P4 PAVED WALKWAY & THE AWNING OVER TO BE
RETAINED. FENCING AND SECURITY GATE,
DEMOUNTABLE AND THE STEPS WITH THE
AWNING ABOVE THE STEPS TO BE REMOVED



P5 HATCHED PAVING TO BE DEMOLISHED INCLUDING
SIMILAR SURFACES UNDER DEMOUNTABLE ONCE
REMOVED. NON HATCHED PATH AND HANDRAILS
TO BE RETAINED.



P6 DEMOUNTABLE TO BE REMOVED. RETAIN
FENCING FOR POSSIBLE RE USE IN NEW
LANDSCAPE. ON SITE PAVING AND STONE
GARDEN TO BE DEMOLISHED



P7 HATCHED PAVING TO BE DEMOLISHED
INCLUDING SIMILAR SURFACES UNDER
DEMOUNTABLE ONCE REMOVED. NOT
HATCHED PATH AND HANDRAILS TO BE
RETAINED TO SECURITY OFFICE STAIRS.



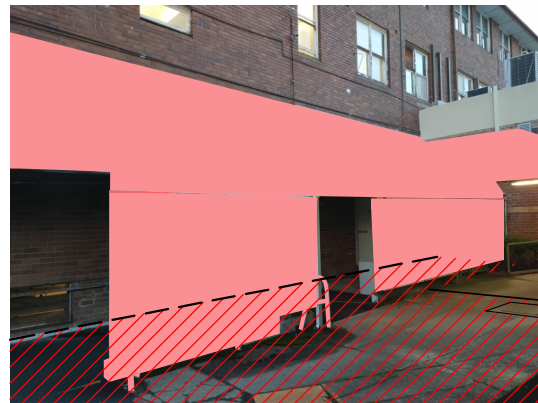
P8 PAVING TO BE DEMOLISHED IF ON GROUND, IF
SUSPENDED RETAIN. RETAINING TO RHS TO BE
RETAINED. TO LHS TO BE DEMOLISHED TBC
WITH CIVIL & STRUCTURAL ENGINEERS.
DEMOUNTABLE & AWNING STRUCTURE TO BE
DEMOLISHED. REFER TO SERVICES
ENGINEERS DOCUMENTS FOR CABLE TRAY
TERMINATIONS



P17 EXISTING BRICK SEAT TO BE DEMOLISHED AS
HATCHED. KEEP APPROX. 400 WIDE PORTION
TO SUPPORT THE EXISTING POST ON TOP
OF THE SEAT.



2 EXTERNAL WORKS - DEMO PHOTOS
1:20



P9 HATCHED PAVING TO BE DEMOLISHED.
SHADED AWNINGS / GLAZING / HOB /
HANDRAILS TO BE DEMOLISHED



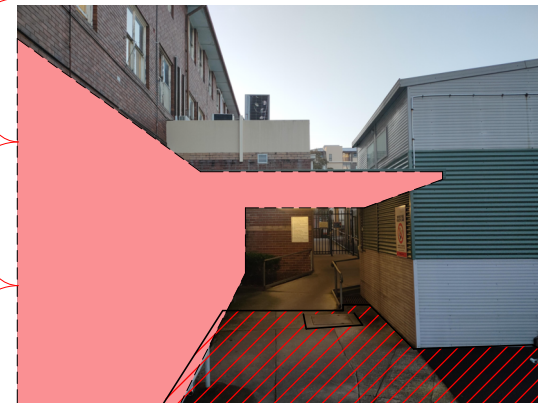
P10 PAVING TO BE DEMOLISHED IF ON GROUND, IF
SUSPENDED RETAIN. RETAINING WALLS TO
DEMOUNTABLE TO BE DEMOLISHED. RETAINING
WALLS TO STORES BUILDING (BLOCK
STRUCTURE) TO BE RETAINED. REFER TO
STRUCTURAL DOCUMENTATION FOR DETAIL OF
BLOCK WALL DEMOLITION FOR STORES
EXPANSION.



P11 PAVING TO BE DEMOLISHED IF ON GROUND, IF
SUSPENDED RETAIN. RETAINING WALL TO LHS
BE RETAINED. RHS TO BE DEMOLISHED TBC
WITH CIVIL & STRUCTURAL ENGINEERS.
CONFIRM WITH SERVICES ENGINEERS
DRAWINGS THE SCOPE OF CABLE TRAY
TERMINATION AND THEREFORE SUPPORT
STRUCTURE DEMO.



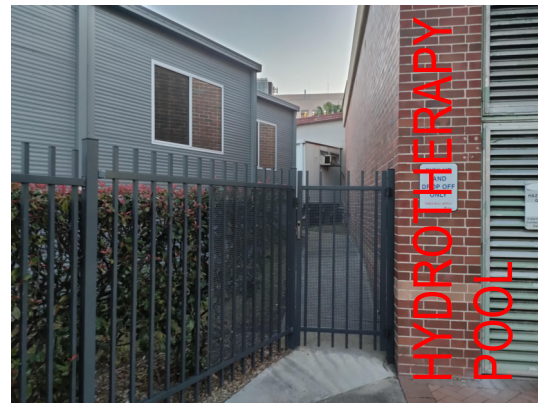
P12 VIEW OF EXISTING STORES & LOADING DOCK TO
REMAIN. SCOPE OF BLOCK WALL DEMOLITION TO
NORTH SIDE TBC WITH STRUCTURAL ENGINEERS.



P13 HATCHED PAVING TO BE DEMOLISHED
INCLUDING SIMILAR SURFACES UNDER
DEMOUNTABLE ONCE REMOVED. NON HATCHED
PATH AND HANDRAILS TO BE RETAINED. GREEN
COVERED AWNING & THE CURVED AWNING
WITH THE SUPPORTING STRUCTURE TO BE
REMOVED



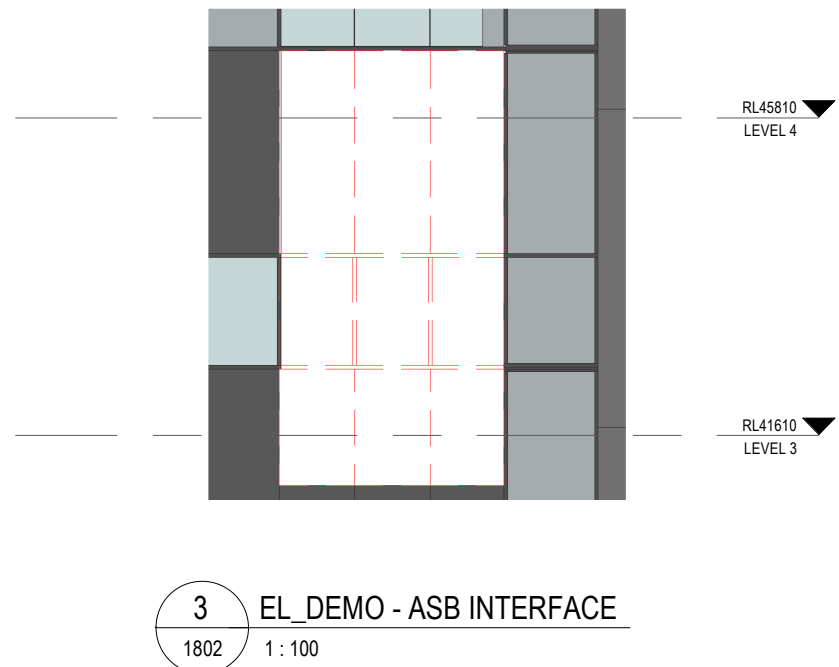
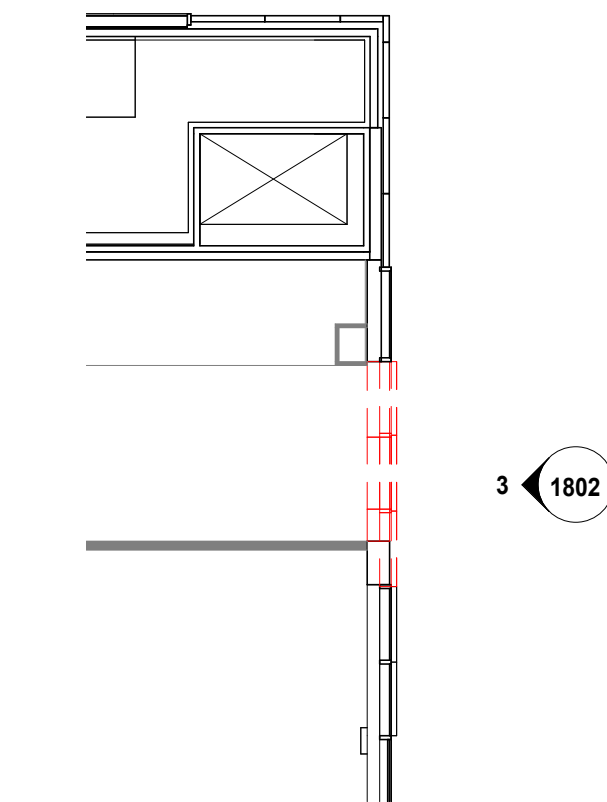
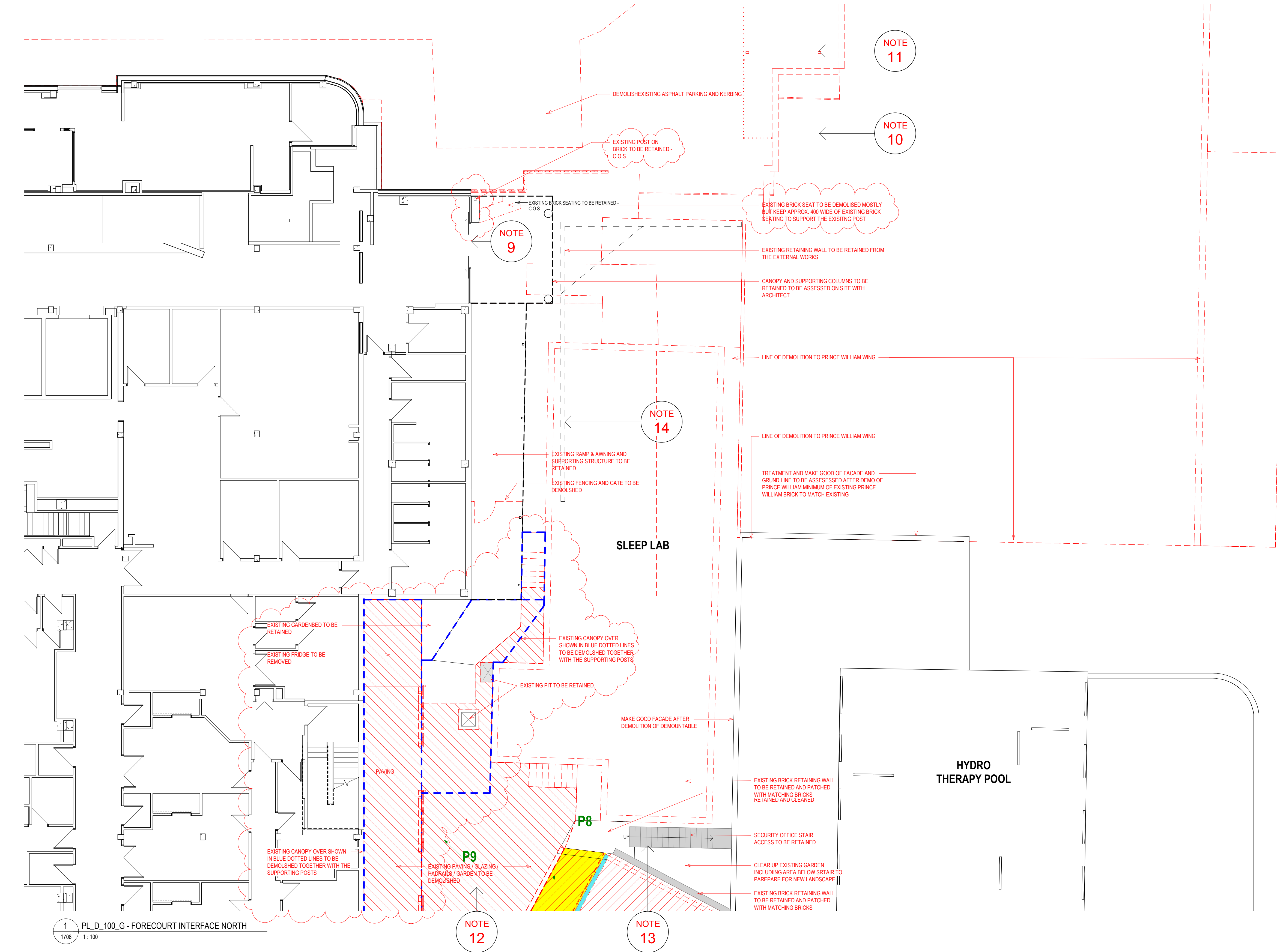
P14 RETAINING WALL LEFT SIDE ADJACENT TO
LOADING DOCK TO BE RETAINED. PAVING TO BE
DEMOLISHED IF ON GROUND. IF SUSPENDED
RETAIN. RETAINING WALL ADJACENT TO
DEMOUNTABLE TO BE DEMOLISHED.
DEMOUNTABLE. TO BE REMOVED. LIGHT POLE
RELOCATED TBC WITH SERVICES ENGINEERS
DOCUMENTS



P15 PAVING BEHIND FENCE TO BE DEMOLISHED.
PELVIC FLOOR DEMOUNTABLE TO BE REMOVED.
THE FOOTPATH ADJACENT TO THE
HYDROTHERAPY POOL. TO BE RETAINED.



P16 ALL PAVING, BOLLARD, RETAINING WALLS &
DEMOUNTABLES TO BE DEMOLISHED.
SERVICES RETICULATION - REFER TO SERVICES
ENGINEERS DOCUMENTATION. IF ANY ARE NEEDED
TO BE RETAINED MOVE TO IN GROUND. ENGINEERS
TO CONFIRM.



DEMOLITION PLAN LEGEND (1800 SERIES DRAWINGS)

- REFER TO DRAWING 001 FOR GENERAL NOTES
- REFER TO SERVICES DRAWINGS FOR SCOPE OF DEMOLITION WORKS FOR SERVICES
- RED IN CONJUNCTION WITH PROPOSED PLANS (15XX AND 22XX SERIES)

AREA ADJACENT TO REFURBISH ZONE - OUT OF SCOPE

GENERAL ITEMS:
EXISTING WALLS / WINDOWS/ DOORS
FIXTURES/ FITTINGS JOINERIES/ CEILING/ FINISHES/ FLOOR WASTES TO BE DEMOLISHED UNLESS NOTED.

ALLOW FOR MAKING GOOD TO CEILING WHERE CEILING HAS TO BE OPENED UP FOR SERVICES RETICULATION - REFER TO SERVICES DOCUMENTATION

ALLOW FOR MAKING GOOD TO SCREED WITHINT EXISTING WET AREAS - NEW LEVELING SCREED AS REQUIRED

REFER STRUCTURAL DRAWINGS FOR REMOVAL OF LINTELS AND SLAB CUTS. PROTECT RETAINED STRUCTURE. REFER TO NOTES ON THE DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS AND OTHER REQUIREMENTS. ANY STRUCTURAL ELEMENT TO BE DEMOLISHED TO BE REVIEW & SIGNED OFF BY STRUCTURAL ENGINEER

REMOVAL OF FLOOR FINISHES AND MAKE GOOD TO PREPARE FOR NEW WORKS

P1 PHOTO NUMBERS. REFER DRAWING 1803

DEMOLITION NOTES

- NOTE 9 MAINTAIN ACCESS TO BURT NIELSEN EXISTING EAST ENTRY DOORS UNTIL THE DEMOLITION OF PRINCE WILLIAM. MANAGE ACCESS WITH THE LHD & PM AT THIS PHASE
- NOTE 10 DEMOLISH AND TERMINATE ALL AND ANY SERVICES TO SERVICES ENGINEERS DOCUMENTATION
- NOTE 11 DEMOLISH AND TERMINATE ALL AND ANY SERVICES TO SERVICES ENGINEERS DOCUMENTATION. RETAIN EXISTING BIKE RACKING FOR ACB BIKE STORE RE USE.
- NOTE 12 EXISTING PAVING TO BE DEMOLISHED
- NOTE 13 EXISTING ACCESS STAIRS TO BE RETAINED
- NOTE 14 EXISTING BRICK RETAINING WALL TO BE RETAINED

DRAWING TO BE PRINTED IN COLOUR



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PROJECT
St George Hospital Stage 3

PROJECT NO.
IA256500

DRAWING TITLE
DEMOLITION PLAN SHEET 2

STATUS
FOR CONSTRUCTION

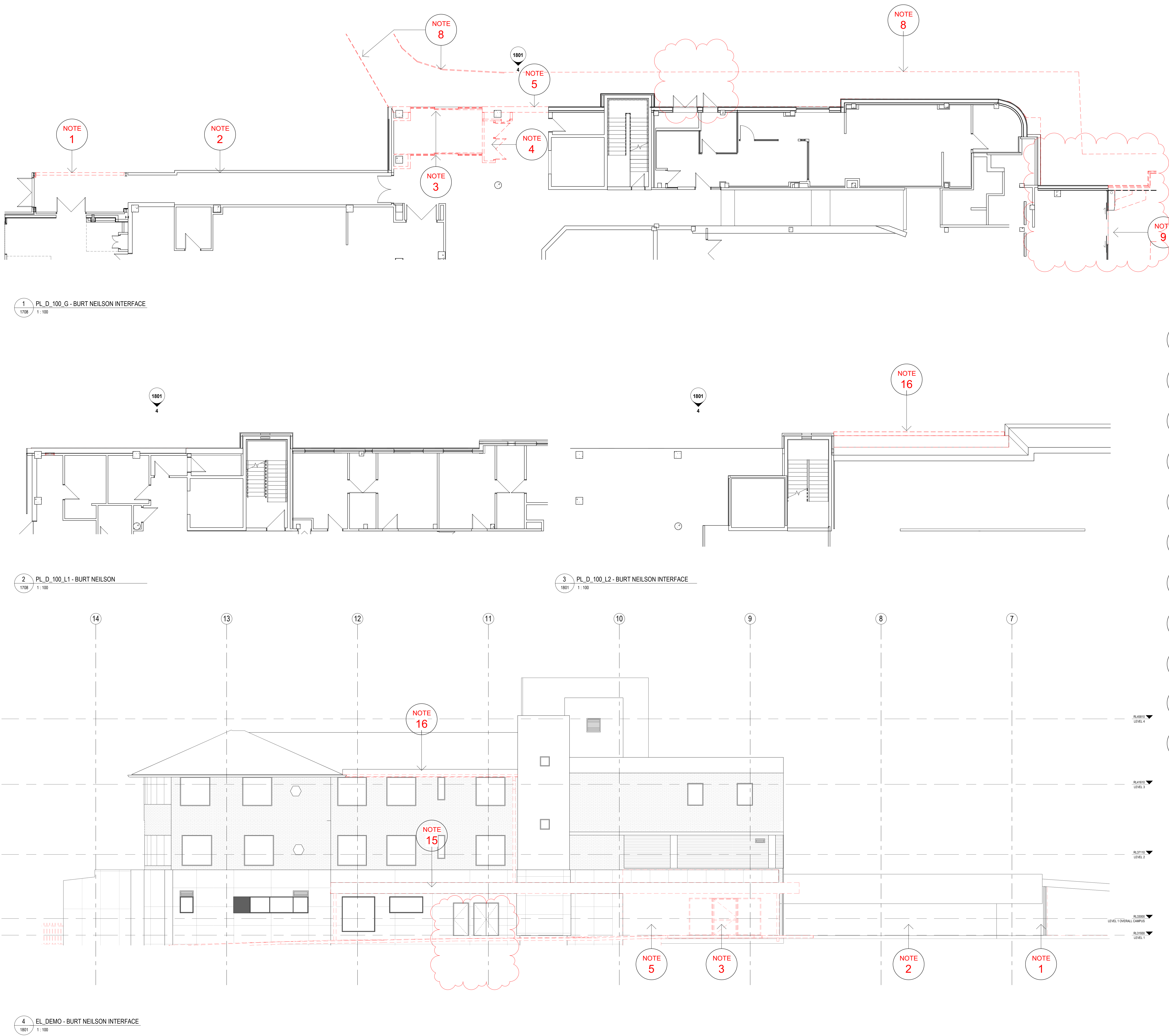
DRAWN Author
DESIGNED Designer

CHECKED WB
APPROVED Approver

SCALE @ B1
As indicated

DRAWING NO.
SGHS3-AR-DG-1802
REVISION
C

Autodesk Docs:JIS George Hospital Stage 3 - Main WorksSGHS3-AR-MO-300MAIN.rvt 7/10/2025 3:41:25 PM



DEMOLITION PLAN LEGEND

(1800 SERIES DRAWINGS)

- REFER TO DRAWING 001 FOR GENERAL NOTES
- REFER TO SERVICES DRAWINGS FOR SCOPE OF DEMOLITION WORKS FOR SERVICES
- RED IN CONJUNCTION WITH PROPOSED PLANS (15XX AND 22XX SERIES)

AREA ADJACENT TO REFURBISH ZONE - OUT OF SCOPE

GENERAL ITEMS:
EXISTING WALLS / WINDOWS / DOORS
FIXTURES / FITTINGS / JOINERIES / CEILING / FINISHES / FLOOR WASTES TO BE DEMOLISHED UNLESS NOTED.

ALLOW FOR MAKING GOOD TO CEILING WHERE CEILING HAS TO BE OPENED UP FOR SERVICES RETICULATION - REFER TO SERVICES DOCUMENTATION

ALLOW FOR MAKING GOOD TO SCREED WITHIN EXISTING WET AREAS - NEW LEVELING SCREED AS REQUIRED

REFER STRUCTURAL DRAWINGS FOR REMOVAL OF LINTELS AND SLAB CUTS. PROTECT RETAINED STRUCTURE. REFER TO NOTES ON THE DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS AND OTHER REQUIREMENTS. ANY STRUCTURAL ELEMENT TO BE DEMOLISHED TO BE REVIEW & SIGNED OFF BY STRUCTURAL ENGINEER

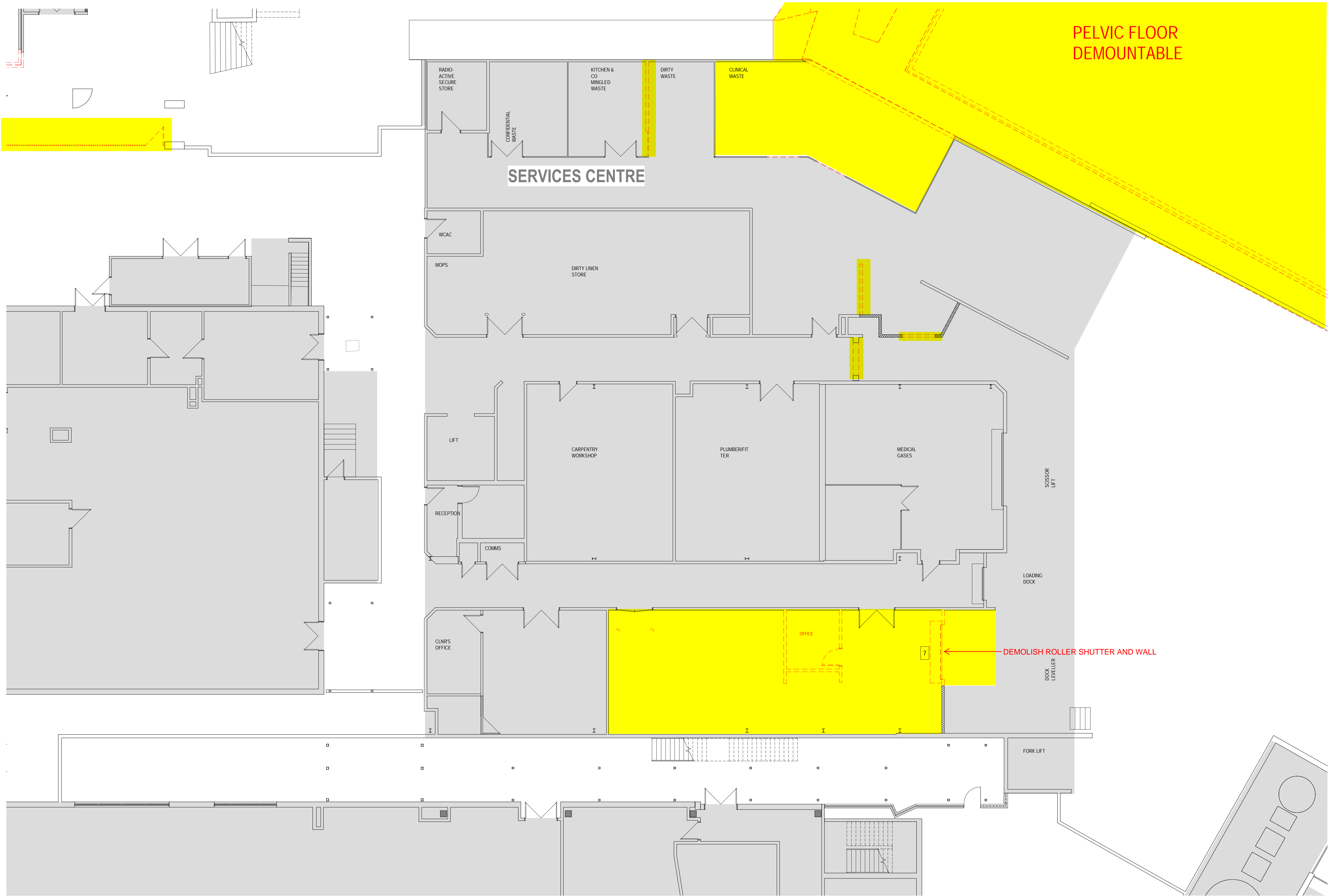
REMOVAL OF FLOOR FINISHES AND MAKE GOOD TO PREPARE FOR NEW WORKS

P1 PHOTO NUMBERS. REFER DRAWING 1803

DEMOLITION NOTES

- NOTE 1** FULL WALL TO BE DEMOLISHED READY FOR OPEN CONNECTION TO NEW ACB MANAGE WEATHER PROOFING OF EXISTING CORRIDOR WITH THE LHD AND CHECK BCA ACCEPTANCE.
- NOTE 2** WALL CLADDING TO BE DEMOLISHED READY FOR CONNECTION TO NEW ACB
- NOTE 3** EXISTING BURT NIELSEN ENTRY DOORS, GLAZING AND WALLS TO BE DEMOLISHED READY FOR NEW ACB INTERFACE CONNECTION TO THE EXISTING HOSPITAL
- NOTE 4** EXISTING BURT NIELSEN FIRE SERVICES CUPBOARDS TO BE REMOVED. REFER TO FIRE SERVICES ENGINEERS FOR DETAILS OF NEW CUPBOARDS BEFORE COMMENCEMENT.
- NOTE 5** EXISTING BURT NIELSEN FACADE AND WALLS TO BE DEMOLISHED READY FOR NEW ACB ATRIUM INTERFACE WITH THE EXISTING HOSPITAL ACCESS CORRIDORS.
- NOTE 6** EXISTING BURT NIELSEN BRICK FACADE - NORTH FACE ONLY TO BE REMOVED FOR BUILDING STRUCTURAL INTERFACE CLEARANCES. RETAIN EAST AND WEST WALL FACES
- NOTE 7** DOORS AND WINDOWS TO BE DEMOLISHED FOR NEW FIRE RATED INFILL AND NEW DOORS
- NOTE 8** DEMOLISH EXISTING ON GRADE CARPARK AND PAVING IF NOT COMPLETED AS A PART OF THE PRIORITY WORKS CURRENTLY IN PROGRESS
- NOTE 9** MAINTAIN ACCESS TO BURT NIELSEN EXISTING EAST ENTRY DOORS UNTIL THE DEMOLITION OF PRINCE WILLIAM. MANAGE ACCESS WITH THE LHD & PM AT THIS PHASE
- NOTE 15** DEMOLISH EXISTING CANOPY AND DOWN PIPE
- NOTE 16** DEMOLISH PART OF EXISTING EAVE & GUTTER AND DEMOLISH OR MODIFY THE DOWN PIPE

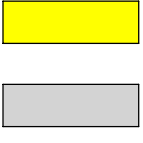
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KEY PLAN	
CLIENT	
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PROJECT St George Hospital Stage 3	
PROJECT NO. IA255500	
DRAWING TITLE DEMOLITION PLAN SHEET 1	
STATUS FOR CONSTRUCTION	
DRAWN Author	DESIGNED Designer
CHECKED WB	APPROVED Approver
SCALE @ B1 As indicated	
DRAWING NO. SGHS3-AR-DG-1801	REVISION B



DEMOLITION PLAN LEGEND

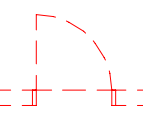
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- REFER TO DRAWING 001 FOR GENERAL NOTES
- REFER TO SERVICES DRAWINGS FOR SCOPE OF DEMOLITION WORKS FOR SERVICES
- READ IN CONJUNCTION WITH PROPOSED PLANS (15XX AND 22XX SERIES)



GENERAL ITEMS:

- EXISTING WALLS / WINDOWS/ DOORS
- FIXTURES/ FITTINGS/ JOINERIES/ CEILING/ FINISHES/ FLOOR WASTES TO BE DEMOLISHED UNLESS NOTED.



- ALLOW FOR MAKING GOOD TO CEILING WHERE CEILING HAS TO BE OPENED UP FOR SERVICES RETICULATION - REFER TO SERVICES DOCUMENTATION
- ALLOW FOR MAKING GOOD TO SCREED WITHIN EXISTING WET AREAS - NEW LEVELING SCREED AS REQUIRED

- REFER STRUCTURAL DRAWINGS FOR REMOVAL OF LINTELS AND SLAB CUTS. PROTECT RETAINED STRUCTURE. REFER TO NOTES ON THE DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS AND OTHER REQUIREMENTS. ANY STRUCTURAL ELEMENT TO BE DEMOLISHED TO BE REVIEW & SIGNED OFF BY STRUCTURAL ENGINEER

DEMOLITION NOTES

- ALL CONSULTANTS TO CONFIRM / INSPECT EXISTING CONDITIONS OF ALL SERVICES AND STRUCTURAL ELEMENTS. ENSURE HAZMAT REPORT AND SAFETY REPORT BE SUBMITTED PRIOR TO ALL DEMOLITION WORK COMMENCE.

- ENSURE ALL ELECTRICAL, MECHANICAL, FIRE SERVICES, HYDRAULICS, COMMS, DATA, MEDICAL GAS TO BE FULLY DECOMMISSIONED PRIOR TO DEMOLITION WORK COMMENCE.

- REFER TO ACOUSTIC REPORT IN CONJUNCTION WITH THIS DRAWING PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES TO BE REPORTED AND INSTRUCTIONS OBTAINED FROM PROJECT MANAGER BEFORE WORK IS EXECUTED.

- ANY WORKS PENETRATING EXISTING FIRE WALLS TO BE FIRE SEALED TO ACHIEVE FULL COMPLIANCE / CERTIFICATION.

- LIAISE WITH HOSPITAL TO ARRANGE FOR REMOVAL OF EXISTING HOSPITAL EQUIPMENT PRIOR TO WORK COMMENCING.

- REMOVAL ITEMS NOTED IN ARCHITECTURAL DRAWINGS & CONSULTANT DRAWINGS TO BE HANDED BACK TO LHD (PLACED IN CLIENT STORAGE COMPOUND ON SITE).
- REFER TO FF&E PLANS FOR ALL POWER & DATA POINTS TO BE RETAINED. ALL OTHERS IN AREAS IN SCOPE TO BE REMOVED IN ACCORDANCE WITH ELECTRICAL CONSULTANT REQUIREMENTS.

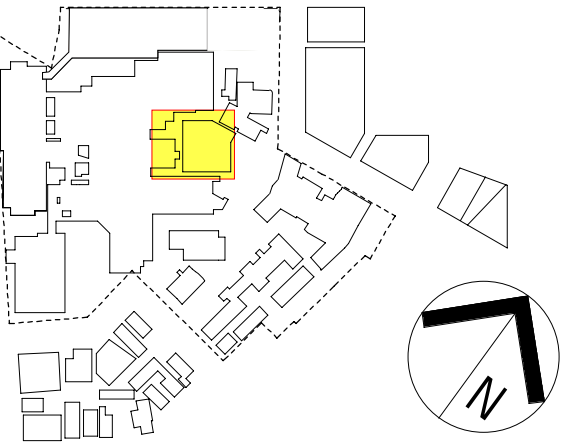
- FOR FF&E INFORMATION REFER TO DRAWING SERIES 2400 & PUG DRAWING PACKAGES.

- CONTRACTOR TO REVIEW FIRE INTEGRITY OF ALL ADJACENT EXISTING FIRE WALLS AND ADVISE OF ANY ISSUES.

- ALLOW FOR OPENING UP WALLS TO INSTALL NOGGING SUPPORT FOR FIXTURES AND MAKING GOOD

DRAWING TO BE PRINTED IN COLOUR

KEY PLAN



CLIENT



SERVICE PROVIDER



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PROJECT
St George Hospital Stage 3

PROJECT NO.
IA256500

DRAWING TITLE
**DEMOLITION PLAN - BOH
- GROUND LEVEL - ZONE
13 & 14**

STATUS

FOR INFORMATION

DRAWN
JACOBS

DESIGNED
MT

CHECKED
WB

APPROVED
CY

SCALE @ B1
1 : 100

DRAWING NO.
REF2-AR-DG-R1821

REVISION
3

5 SEXUAL HEALTH, ANTENATAL AND GYNAECOLOGY REFURBISHMENT (LG, L1, L2, L3)

1 DEMOLITION PLAN - PRICHARD BUILDING - LEVEL G
1 : 100



2 DEMOLITION PLAN - PRICHARD BUILDING - LEVEL 1
1 : 100

DEMOLITION PLAN LEGEND

(1800 SERIES DRAWINGS)

- REFER TO DRAWING 001 FOR GENERAL NOTES
- REFER TO SERVICES DRAWINGS FOR SCOPE OF DEMOLITION WORKS FOR SERVICES
- READ IN CONJUNCTION WITH PROPOSED PLANS (15XX AND 22XX SERIES)

- PROPOSED WORKS/ROOM ALTERATIONS & UPGRADE
- AREA ADJACENT TO REFURBISH ZONE - OUT OF SCOPE

GENERAL ITEMS:
EXISTING WALLS / WINDOWS/ DOORS
FIXTURES/ FITTINGS/ JOINERIES/ CEILING/
FINISHES/ FLOOR WASTES TO BE
DEMOLISHED UNLESS NOTED.

ALLOW FOR MAKING GOOD TO CEILING
WHERE CEILING HAS TO BE OPENED UP FOR
SERVICES RETICULATION - REFER TO
SERVICES DOCUMENTATION

ALLOW FOR MAKING GOOD TO SCREED
WITHIN EXISTING WET AREAS - NEW
LEVELING SCREED AS REQUIRED

REFER STRUCTURAL DRAWINGS FOR
REMOVAL OF LINTELS AND SLAB CUTS.
PROTECT RETAINED STRUCTURE. REFER TO
NOTES ON THE DRAWINGS FOR ADDITIONAL
DEMOLITION ITEMS AND OTHER
REQUIREMENTS. ANY STRUCTURAL ELEMENT
TO BE DEMOLISHED TO BE REVIEW &
SIGNED OFF BY STRUCTURAL ENGINEER

DEMOLITION NOTES

- ALL CONSULTANTS TO CONFIRM / INSPECT EXISTING
CONDITIONS OF ALL SERVICES AND STRUCTURAL ELEMENTS.
ENSURE HAZMAT REPORT AND SAFETY REPORT BE
SUBMITTED PRIOR TO ALL DEMOLITION WORK COMMENCE.

- ENSURE ALL ELECTRICAL , MECHANICAL , FIRE SERVICES ,
HYDRAULICS, COMMS , DATA , MEDICAL GAS TO BE FULLY
DECOMMISSIONED PRIOR TO DEMOLITION WORK COMMENCE.

- REFER TO ACOUSTIC REPORT IN CONJUNCTION WITH THIS
DRAWING PRIOR TO COMMENCEMENT OF WORKS.
ANY DISCREPANCIES TO BE REPORTED AND INSTRUCTIONS
OBTAINED FROM PROJECT MANAGER BEFORE WORK IS
EXECUTED.

- ANY WORKS PENETRATING EXISTING FIRE WALL TO BE
FIRE SEALED TO ACHIEVE FULL COMPLIANCE /
CERTIFICATION.

- LIAISE WITH HOSPITAL TO ARRANGE FOR REMOVAL OF
EXISTING HOSPITAL EQUIPMENT PRIOR TO WORK
COMMENCING.

- REMOVAL ITEMS NOTED IN ARCHITECTURAL DRAWINGS &
CONSULTANT DRAWINGS TO BE HANDED BACK TO LHD
(PLACED IN CLIENT STORAGE COMPOUND ON SITE).

- REFER TO FF&E PLANS FOR ALL POWER & DATA POINTS TO
BE RETAINED. ALL OTHERS IN AREAS IN SCOPE TO BE
REMOVED IN ACCORDANCE WITH ELECTRICAL CONSULTANT
REQUIREMENTS.

- FOR FF&E INFORMATION REFER TO DRAWING SERIES 2400 &
PLUG DRAWING PACKAGES.

- CONTRACTOR TO REVIEW FIRE INTEGRITY OF ALL ADJACENT
EXISTING FIRE WALLS AND ADVISE OF ANY ISSUES.

- ALLOW FOR OPENING UP WALLS TO INSTALL NOGGING
SUPPORT FOR FIXTURES AND MAKING GOOD

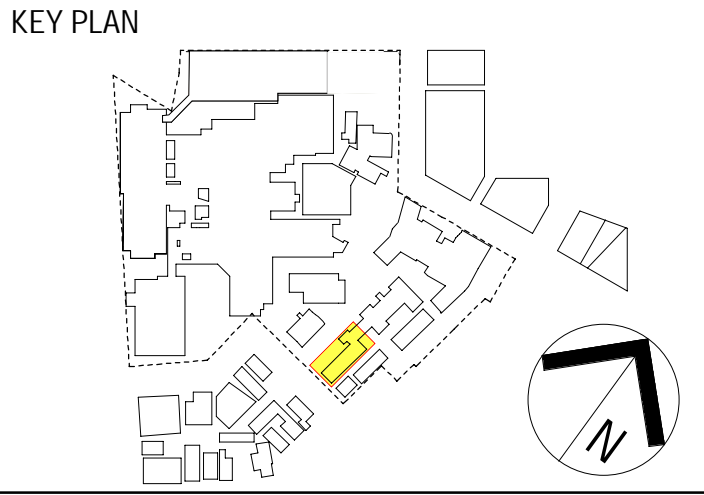
SCOPE OF CHANGES

- DEMOLISH EXISTING WALL/DOOR INCLUDING STUDS, WALL LINING,
FIXINGS AND CAP OFF ANY SERVICES IN WALL. MAKE GOOD ALL
JUNCTIONS TO MATCH ADJACENT.
- DEMOLISH EXISTING WALL PARTIALLY TO CREATE WALL OPENING
FOR DOOR. MAKE GOOD WALL OPENING.
- DEMOLISH EXISTING GLAZED DOOR AND MAKE GOOD WALL
OPENING.
- DEMOLISH EXISTING DOOR AND WIDEN DOOR OPENING AS
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- DEMOLISH EXISTING DOOR/WALL AND INFILL WITH MATCHING WALL.
- DEMOLISH HYDRAULIC FIXTURES AND CAP OFF SERVICES AND
MAKE GOOD WALL AND FLOOR WHERE FIXTURES HAVE BEEN
ATTACHED. REMOVE ANY SPLASHBACK/DISPENSERS WHERE
NECESSARY. ALLOW TO MAKE GOOD EXISTING WALL AND PAINT.
- DEMOLISH EXISTING GLAZED WALL INCLUDING DOORS, FIXINGS
AND MAKE GOOD ALL JUNCTIONS TO MATCH ADJACENT
- PROTECT EXISTING COLUMNS AND ANY ASSOCIATED BEAMS AND
OTHER STRUCTURAL ELEMENTS THAT ARE SUPPORTING THE
EXISTING AREAS TO BE RETAINED. INVESTIGATE STRUCTURE ON
SITE PRIOR TO DEMOLITION WORKS PRIOR TO COMMENCEMENT OF
DEMOLITION WORKS TO MAKE SURE THE STRUCTURE IS NOT
DAMAGED.
- ALLOW UP TO 50MM SCABBING OF SLAB FOR WET ROOM TILES
AND FALLS. CONFIRM ALLOWABLE DEPTH ON SITE WITH
STRUCTURAL ENGINEER. REFER TO PLAN FOR ROOM EXTENT
- DEMOLISH EXISTING JOINERY AND CAP OFF SERVICES WHERE
REQUIRED. MAKE GOOD WALL AND FLOOR FOR NEW WORK
- INVESTIGATE WHERE EXISTING SERVICES ARE LOCATED AND
ENGINEERS TO CONFIRM ANY STRUCTURAL, HYDRAULIC
REQUIREMENTS
- DEMOLISH FLOOR FINISH. STRIP BACK TO CONCRETE SLAB AND
MAKE GOOD FOR NEW FLOOR FINISH. REFER TO FLOOR PLAN FOR
EXTENT
- DEMOLISH CORNER GUARDS AND HAND RAIL AND MAKE GOOD
WALL

REV	DATE	AMENDMENT
3	21.11.24	REISSUE FOR REF
2	12.11.24	REISSUE FOR REF
1	18.10.24	ISSUE FOR REF

- NOTES
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CLIENT

 **Health Infrastructure**



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Fax: +61 2 9928 2510
Web: jacobs.com

PROJECT

St George Hospital Stage 3

PROJECT NO.
IA256500

DRAWING TITLE

**DEMOLITION PLAN -
PRICHARD BUILDING -
LEVEL G & 1 - ZONE 51 &
52**

STATUS

FOR INFORMATION

DRAWN
JACOBS

DESIGNED
GA/TM

CHECKED
WB

APPROVED
CY

SCALE @ B1
1 : 100

DRAWING NO.
REF2-AR-DG-R1822

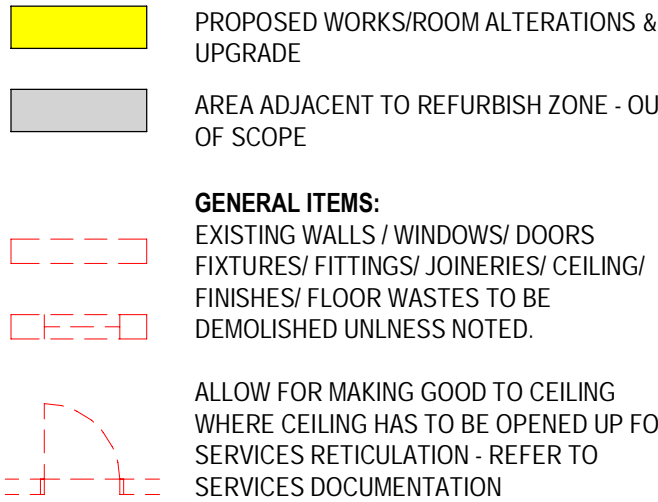
REVISION
3

5 SEXUAL HEALTH, ANTENATAL AND
GYNAECOLOGY REFURBISHMENT
(LG, L1, L2, L3)

DEMOLITION PLAN LEGEND

(1800 SERIES DRAWINGS)

- REFER TO DRAWING 001 FOR GENERAL NOTES
- REFER TO SERVICES DRAWINGS FOR SCOPE OF
DEMOLITION WORKS FOR SERVICES
- READ IN CONJUNCTION WITH PROPOSED PLANS
(15XX AND 22XX SERIES)



DEMOLITION NOTES

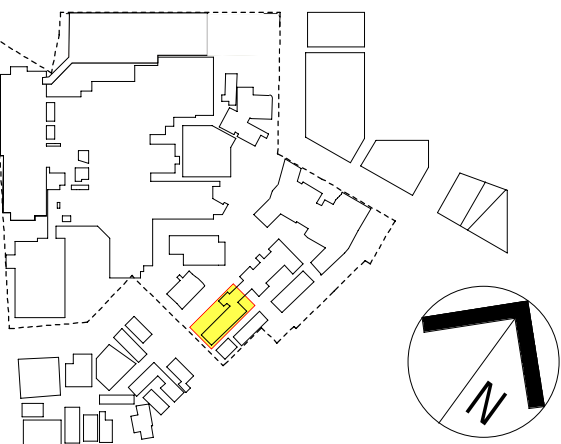
- ALL CONSULTANTS TO CONFIRM / INSPECT EXISTING CONDITIONS OF ALL SERVICES AND STRUCTURAL ELEMENTS ENSURE HAZARD REPORT AND SAFETY REPORT BE SUBMITTED PRIOR TO ALL DEMOLITION WORK COMMENCE.
- ENSURE ALL ELECTRICAL, MECHANICAL, FIRE SERVICES, HYDRAULICS, COMMS, DATA, MEDICAL GAS TO BE FULLY DECOMMISSIONED PRIOR TO DEMOLITION WORK COMMENCE.
- REFER TO ACOUSTIC REPORT IN CONJUNCTION WITH THIS DRAWING PRIOR TO COMMENCEMENT OF WORKS.
- ANY DISCREPANCIES TO BE REPORTED AND INSTRUCTIONS OBTAINED FROM PROJECT MANAGER BEFORE WORK IS EXECUTED.
- ANY WORKS PENETRATING EXISTING FIRE WALLS TO BE FIRE SEALED TO ACHIEVE FULL COMPLIANCE / CERTIFICATION.
- LIAISE WITH HOSPITAL TO ARRANGE FOR REMOVAL OF EXISTING HOSPITAL EQUIPMENT PRIOR TO WORK COMMENCING.
- REMOVAL ITEMS NOTED IN ARCHITECTURAL DRAWINGS & CONSULTANT DRAWINGS TO BE HANDED BACK TO LHD (PLACED IN CLIENT STORAGE COMPOUND ON SITE).
- REFER TO FF&E PLANS FOR ALL POWER & DATA POINTS TO BE RETAINED. ALL OTHERS IN AREAS IN SCOPE TO BE RETAINED IN ACCORDANCE WITH ELECTRICAL CONSULTANT REQUIREMENTS.
- FOR FF&E INFORMATION REFER TO DRAWING SERIES 2400 & PUG DRAWING PACKAGES.
- CONTRACTOR TO REVIEW FIRE INTEGRITY OF ALL ADJACENT EXISTING FIRE WALLS AND ADVISE OF ANY ISSUES.
- ALLOW FOR OPENING UP WALLS TO INSTALL NOGGING SUPPORT FOR FIXTURES AND MAKING GOOD

SCOPE OF CHANGES

- | | |
|----|--|
| 1 | DEMOLISH EXISTING WALL/DOOR INCLUDING STUDS, WALL LINING, PARTIAL CEILING AND FLOOR SERVICES. MAKE GOOD ALL JOINTS TO MATCH ADJACENT. |
| 2 | DEMOLISH EXISTING WALL PARTIALLY TO CREATE WALL OPENING FOR DOOR. MAKE GOOD WALL OPENING. |
| 3 | DEMOLISH EXISTING GLAZED DOOR AND MAKE GOOD WALL OPENING. |
| 4 | DEMOLISH EXISTING DOOR AND WIDEN DOOR OPENING AS REQUIRED BY NEW DOOR. MAKE GOOD WALL OPENING. |
| 5 | DEMOLISH EXISTING DOORWALL AND INFILL WITH MATCHING WALL. |
| 6 | DEMOLISH HYDRAULIC FIXTURES AND CAP OFF SERVICES AND MAKE GOOD WALL AND FLOOR WHERE FIXTURES HAVE BEEN ATTACHED. REMOVE ANY SPARKSHAKES/DISPENSERS WHERE NECESSARY. ALLOW TO MAKE GOOD EXISTING WALL AND PAINT. |
| 7 | DEMOLISH EXISTING GLAZED WALL INCLUDING DOORS, FIXINGS AND MAKE GOOD ALL JOINTS TO MATCH ADJACENT. |
| 8 | PROTECT EXISTING COLUMNS AND ANY ASSOCIATED BEAMS AND OTHER STRUCTURAL ELEMENTS THAT ARE SUPPORTING THE EXISTING AREAS TO BE RETAINED. INVESTIGATE STRUCTURE ON NEIGHBOUR TO DEMOLITION WORKS PRIOR TO COMMENCEMENT OF DEMOLITION WORKS TO MAKE SURE THE STRUCTURE IS NOT DAMAGED. |
| 9 | ALLOW UP TO 10MM SCABBING OF SLAB FOR WET ROOM TILES AND FALLS. CONFORM ALLOWABLE DEPTH ON SITE WITH STRUCTURAL ENGINEER. PROVIDE PROTECTIVE COVER EXTENT TO MATCH ADJACENT. |
| 10 | DEMOLISH EXISTING JOINERY AND CAP OFF SERVICES WHERE REQUIRED. MAKE GOOD WALL AND FLOOR FOR NEW WORK. |
| 11 | INVESTIGATE WHERE EXISTING SERVICES ARE LOCATED AND ENGINEERS TO CONFIRM ANY STRUCTURAL, HYDRAULIC REQUIREMENTS. |
| 12 | DEMOLISH FLOOR FINISH. STRIP BACK TO CONCRETE SLAB AND MAKE GOOD FOR NEW FLOOR FINISH. REFER TO FLOOR PLAN FOR EXIST. |
| 13 | DEMOLISH CORNER GUARDS AND HAND RAIL AND MAKE GOOD WALL. |

DRAWING TO BE PRINTED IN COLOUR

KEY PLAN



LIENT



SERVICE PROVIDER

Jacobs.

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Fax: +61 2 9928 2510
Web: [jacobs.com](http://www.jacobs.com)

PROJECT

St George Hospital Stages

PROJECT NO
A256500

RAWING TITLE

DEMOLITION PLAN -
RICHARD BUILDING -
LEVEL 2 & 3 - ZONE 51 &
2

STATUS

FOR INFORMATION

RAWN
ACOBSDESIGNE
GA/TM

HECKED
/B

APPROVED
BY

SCALE @ BT
1 : 100

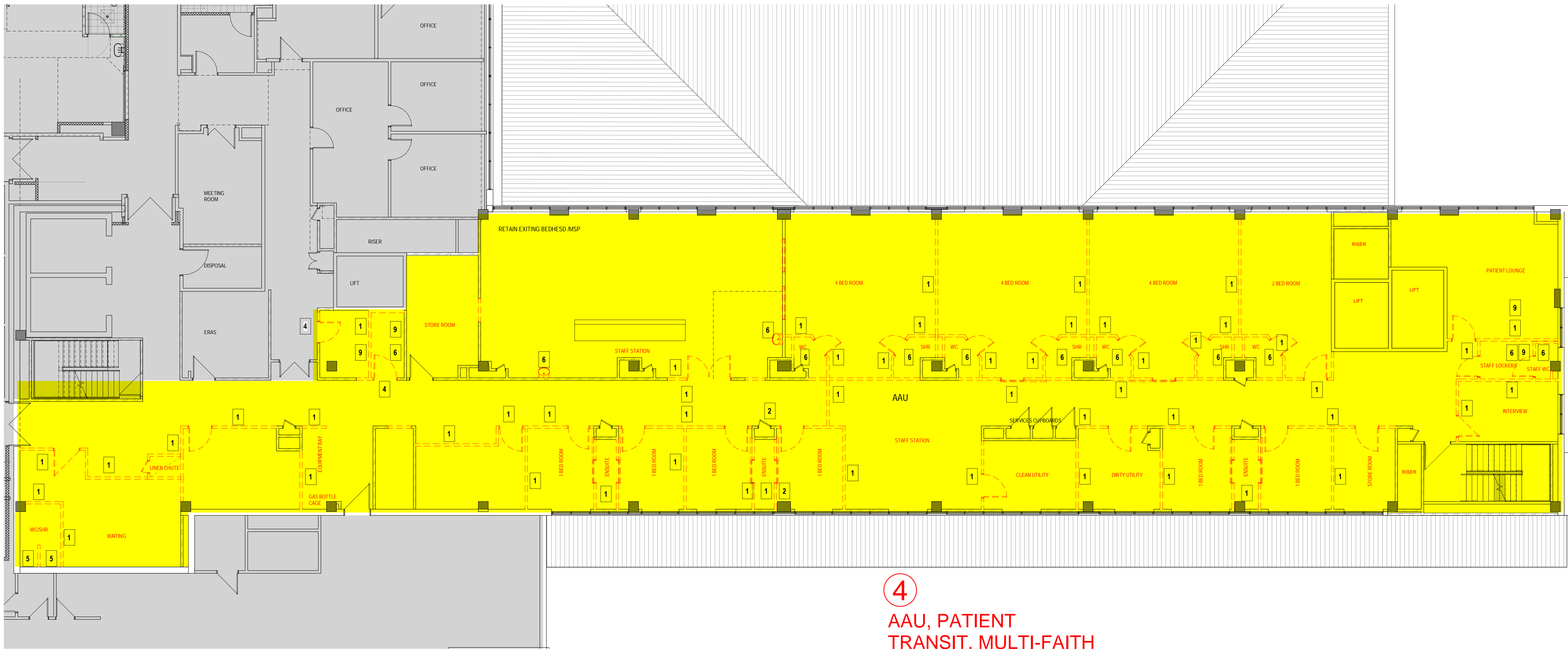
RAWING NC

REF2-AR-DG-R1823

REVISION

3

5 SEXUAL HEALTH, ANTENATAL AND GYNAECOLOGY REFURBISHMENT (LG, L1, L2, L3)



1 DEMOLITION PLAN - TOWER WARD BUILDING - LEVEL 2 - ZONE 21 & 22
1 : 100

4
AAU, PATIENT
TRANSIT, MULTI-FAITH
REFURBISHMENT (L2)



2 DEMOLITION PLAN - TOWER WARD BUILDING - LEVEL 4 - ZONE 41
1 : 100

6
RENAL
REFURBISHMENT (L6)



3 DEMO_6 - TWB_ZC copy
1 : 100

7 10
SURGICAL
REFURBISHMENT

DEMOLITION PLAN LEGEND

(1800 SERIES DRAWINGS)

- REFER TO DRAWING 001 FOR GENERAL NOTES
- REFER TO SERVICES DRAWINGS FOR SCOPE OF
DEMOLITION WORKS FOR SERVICES
- READ IN CONJUNCTION WITH PROPOSED PLANS
(15XX AND 22XX SERIES)

PROPOSED WORKS/ROOM ALTERATIONS &
UPGRADE
AREA ADJACENT TO REFURBISH ZONE - OUT
OF SCOPE

GENERAL ITEMS:
EXISTING WALLS / WINDOWS/ DOORS
FIXTURES/ FITTINGS/ JOINERIES/ CEILING/
FINISHES/ FLOOR WASTES TO BE
DEMOLISHED UNLESS NOTED.

ALLOW FOR MAKING GOOD TO CEILING
WHERE CEILING HAS TO BE OPENED UP FOR
SERVICES RETICULATION - REFER TO
SERVICES DOCUMENTATION

ALLOW FOR MAKING GOOD TO SCREED
WITHIN EXISTING WET AREAS - NEW
LEVELING SCREED AS REQUIRED

REFER STRUCTURAL DRAWINGS FOR
REMOVAL OF LINTELS AND SLAB CUTS.
PROTECT RETAINED STRUCTURE. REFER TO
NOTES ON THE DRAWINGS FOR ADDITIONAL
DEMOLITION ITEMS AND OTHER
REQUIREMENTS. ANY STRUCTURAL ELEMENT
TO BE DEMOLISHED TO BE REVIEW &
SIGNED OFF BY STRUCTURAL ENGINEER

DEMOLITION NOTES

- ALL CONSULTANTS TO CONFIRM / INSPECT EXISTING
CONDITIONS OF ALL SERVICES AND STRUCTURAL ELEMENTS.
ENSURE HAZMAT REPORT AND SAFETY REPORT BE
SUBMITTED PRIOR TO ALL DEMOLITION WORK COMMENCE.

- ENSURE ALL ELECTRICAL, MECHANICAL, FIRE SERVICES,
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DECOMMISSIONED PRIOR TO DEMOLITION WORK COMMENCE.

- REFER TO ACOUSTIC REPORT IN CONJUNCTION WITH THIS
DRAWING PRIOR TO COMMENCEMENT OF WORKS.
ANY DISCREPANCIES TO BE REPORTED AND INSTRUCTIONS
OBTAINED FROM PROJECT MANAGER BEFORE WORK IS
EXECUTED.

- ANY WORKS PENETRATING EXISTING FIRE WALLS TO BE
FIRE SEALED TO ACHIEVE FULL COMPLIANCE /
CERTIFICATION.

- LIAISE WITH HOSPITAL TO ARRANGE FOR REMOVAL OF
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COMMENCING.

- REMOVAL ITEMS NOTED IN ARCHITECTURAL DRAWINGS &
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- REFER TO FF&E PLANS FOR ALL POWER & DATA POINTS TO
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REMOVED IN ACCORDANCE WITH ELECTRICAL CONSULTANT
REQUIREMENTS.

- FOR FF&E INFORMATION REFER TO DRAWING SERIES 2400 &
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- CONTRACTOR TO REVIEW FIRE INTEGRITY OF ALL ADJACENT
EXISTING FIRE WALLS AND ADVISE OF ANY ISSUES.

- ALLOW FOR OPENING UP WALLS TO INSTALL NOGGING
SUPPORT FOR FIXTURES AND MAKING GOOD

SCOPE OF CHANGES

- DEMOLISH EXISTING WALL/DOOR INCLUDING STUDS, WALL LINING,
FIXINGS AND CAP OFF ANY SERVICES WALL. MAKE GOOD ALL
JUNCTIONS TO MATCH ADJACENT.
- DEMOLISH EXISTING WALL PARTIALLY TO CREATE WALL OPENINGS
FOR DOOR. MAKE GOOD WALL OPENING.
- DEMOLISH EXISTING GLAZED DOOR AND MAKE GOOD WALL
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- DEMOLISH EXISTING DOOR AND WOODEN DOOR OPENING AS
REQUIRED BY NEW DOOR. MAKE GOOD WALL OPENING.
- DEMOLISH EXISTING DOOR/WALL AND INFILL WITH MATCHING WALL.
- DEMOLISH HYDRAULIC FIXTURES AND CAP OFF SERVICES AND
MAKE GOOD WALL AND FLOOR WHERE FIXTURES HAVE BEEN
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NECESSARY. ALLOW TO MAKE GOOD EXISTING WALL AND PAINT.
- DEMOLISH EXISTING GLAZED WALL INCLUDING DOORS, FIXINGS
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- PROTECT EXISTING COLUMNS AND ANY ASSOCIATED BEAMS AND
OTHER STRUCTURAL ELEMENTS THAT ARE SUPPORTING THE
EXISTING AREAS TO BE RETAINED. INVESTIGATE STRUCTURE ON
SITE PRIOR TO DEMOLITION WORKS PRIOR TO COMMENCEMENT OF
DEMOLITION WORKS TO MAKE SURE THE STRUCTURE IS NOT
DAMAGED.
- ALLOW UP TO 10MM SCABBING OF SLAB FOR WET ROOM TILES
AND FALLS. CONFIRM ALLOWABLE DEPTH ON SITE WITH
STRUCTURAL ENGINEER. REFER TO PLAN FOR ROOM EXTENT.
- DEMOLISH EXISTING JOINERY AND CAP OFF SERVICES WHERE
REQUIRED. MAKE GOOD WALL AND FLOOR FOR NEW WORK.
- INVESTIGATE WHERE EXISTING SERVICES ARE LOCATED AND
ENGINEERS TO CONFIRM ANY STRUCTURAL, HYDRAULIC
REQUIREMENTS.
- DEMOLISH FLOOR FINISH. STRIP BACK TO CONCRETE SLAB AND
MAKE GOOD FOR NEW FLOOR FINISH. REFER TO FLOOR PLAN FOR
EXTENT.
- DEMOLISH CORNER GUARDS AND HAND RAIL AND MAKE GOOD
WALL.

REV	DATE	AMENDMENT
3	21.11.24	REISSUE FOR REF
2	12.11.24	REISSUE FOR REF
1	18.10.24	ISSUE FOR REF

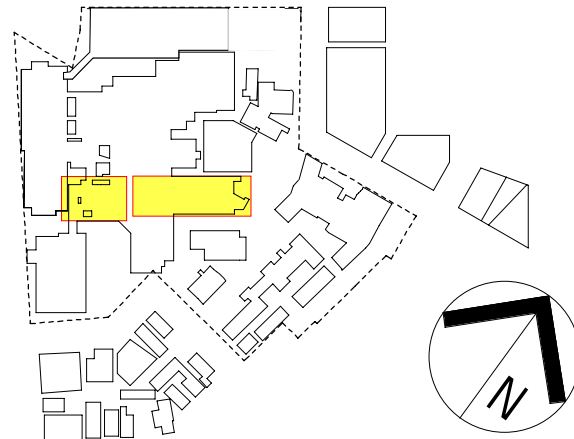
NOTES

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KEY PLAN



CLIENT



SERVICE PROVIDER



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Tel: +61 2 9928 2100
Fax: +61 2 9928 2510
Web: jacobs.com

PROJECT
St George Hospital Stage 3

PROJECT NO.
IA256500

DRAWING TITLE
DEMOLITION PLAN - TOWER WARD -
LEVEL 2, 4 & 6 - ZONE 21, 22 & 41

STATUS

FOR INFORMATION

DRAWN
JACOBS
DESIGNED
GA/TM

CHECKED
WB
APPROVED
CY

SCALE @ B1
1 : 100

DRAWING NO.
REF2-AR-DG-R1824
REVISION
3



1 DEMOLITION PLAN - BURT NEILSON BUILDING - LEVEL 2 - ZONE 6 & 7
1 : 100

DEMOLITION PLAN LEGEND

(1800 SERIES DRAWINGS)

- REFER TO DRAWING 001 FOR GENERAL NOTES
- REFER TO SERVICES DRAWINGS FOR SCOPE OF DEMOLITION WORKS FOR SERVICES
- READ IN CONJUNCTION WITH PROPOSED PLANS (15XX AND 22XX SERIES)



PROPOSED WORKS/ROOM ALTERATIONS & UPGRADE



AREA ADJACENT TO REFURBISH ZONE - OUT OF SCOPE

GENERAL ITEMS:

EXISTING WALLS / WINDOWS/ DOORS
FIXTURES/ FITTINGS/ JOINERIES/ CEILING/
FINISHES/ FLOOR WASTES TO BE
DEMOLISHED UNLESS NOTED.



ALLOW FOR MAKING GOOD TO CEILING
WHERE CEILING HAS TO BE OPENED UP FOR
SERVICES RETICULATION - REFER TO
SERVICES RETICULATION



ALLOW FOR MAKING GOOD TO SCREED
WITHIN EXISTING WET AREAS - NEW
LEVELING SCREED AS REQUIRED

REFER STRUCTURAL DRAWINGS FOR
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PROTECT RETAINED STRUCTURE. REFER TO
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- ALLOW FOR OPENING UP WALLS TO INSTALL NOGGING
SUPPORT FOR FIXTURES AND MAKING GOOD

SCOPE OF CHANGES

- DEMOLISH EXISTING WALL/DOOR INCLUDING STUDS, WALL LINING,
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- DEMOLISH HYDRAULIC FIXTURES AND CAP OFF SERVICES AND
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- DEMOLISH EXISTING JOINERY AND CAP OFF SERVICES WHERE
REQUIRED. MAKE GOOD WALL AND FLOOR FOR NEW WORK.
- INVESTIGATE WHERE EXISTING SERVICES ARE LOCATED AND
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REQUIREMENTS.
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EXTENT.
- DEMOLISH CORNER GUARDS AND HAND RAIL AND MAKE GOOD
WALL.

2 PAEDIATRICS AND CYF REFURBISHMENT

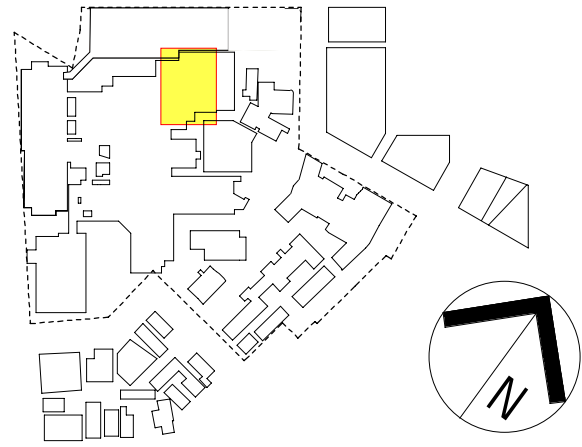
3	21.11.24	REISSUE FOR REF
2	12.11.24	REISSUE FOR REF
1	18.10.24	ISSUE FOR REF
REV	DATE	AMENDMENT

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DRAWING TO BE PRINTED IN COLOUR

KEY PLAN



CLIENT



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Fax: +61 2 9928 2510
Web: jacobs.com

PROJECT
St George Hospital Stage
3

PROJECT NO.
IA256500

DRAWING TITLE
DEMOLITION PLAN -
BURT NEILSON - LEVEL 2
- ZONE 6 & 7

STATUS

FOR INFORMATION

DRAWN
JACOBS

DESIGNED
GA/TM

CHECKED
WB

APPROVED
CY

SCALE @ B1
1 : 100

DRAWING NO.
REF2-AR-DG-R1825

REVISION
3



DEMOLITION PLAN LEGEND

(1800 SERIES DRAWINGS)

- REFER TO DRAWING 001 FOR GENERAL NOTES
- REFER TO SERVICES DRAWINGS FOR SCOPE OF
DEMOLITION WORKS FOR SERVICES
- READ IN CONJUNCTION WITH PROPOSED PLANS
(15XX AND 22XX SERIES)

- PROPOSED WORKS/ROOM ALTERATIONS & UPGRADE
 AREA ADJACENT TO REFURBISH ZONE - OUT OF SCOPE

GENERAL ITEMS

- EXISTING WALLS / WINDOWS/ DOORS
FIXTURES/ FITTINGS/ JOINERIES/ CEILING/
FINISHES/ FLOOR WASTES TO BE
DEMOLISHED UNLESS NOTED.

- ALLOW FOR MAKING GOOD TO CEILING
WHERE CEILING HAS TO BE OPENED UP FOR
SERVICES RETICULATION - REFER TO
SERVICES DOCUMENTATION

- ALLOW FOR MAKING GOOD TO SCREED
WITHIN EXISTING WET AREAS - NEW
LEVELING SCREED AS REQUIRED

- REFER STRUCTURAL DRAWINGS FOR
REMOVAL OF LINTELS AND SLAB CUTS.
PROTECT RETAINED STRUCTURE. REFER TO
NOTES ON THE DRAWINGS FOR ADDITIONAL
DEMOLITION ITEMS AND OTHER
REQUIREMENTS. ANY STRUCTURAL ELEMENT
TO BE DEMOLISHED TO BE REVIEW &
SIGNED OFF BY STRUCTURAL ENGINEER

DEMOLITION NOTES

- ALL CONSULTANTS TO CONFIRM / INSPECT EXISTING
CONDITIONS OF ALL SERVICES AND STRUCTURAL ELEMENTS
ENSURE HAZMAT REPORT AND SAFETY REPORT BE
SUBMITTED PRIOR TO ALL DEMOLITION WORK COMMENCE.

- ENSURE ALL ELECTRICAL , MECHANICAL , FIRE SERVICES ,
HYDRAULICS, COMMS , DATA , MEDICAL GAS TO BE FULLY
DECOMMISSIONED PRIOR TO DEMOLITION WORK COMMENCEMENT

- REFER TO ACOUSTIC REPORT IN CONJUNCTION WITH THIS DRAWING PRIOR TO COMMENCEMENT OF WORKS.
ANY DISCREPANCIES TO BE REPORTED AND INSTRUCTIONS OBTAINED FROM PROJECT MANAGER BEFORE WORK IS EXECUTED.

- ANY WORKS PENETRATING EXISTING FIRE WALLS TO BE FIRE SEALED TO ACHIEVE FULL COMPLIANCE / CERTIFICATION.

- LIAISE WITH HOSPITAL TO ARRANGE FOR REMOVAL OF EXISTING HOSPITAL EQUIPMENT PRIOR TO WORK COMMENCING.

- REMOVAL ITEMS NOTED IN ARCHITECTURAL DRAWINGS & CONSULTANT DRAWINGS TO BE HANDED BACK TO LHD (PLACED IN CLIENT STORAGE COMPOUND ON SITE).

- REFER TO FF&E PLANS FOR ALL POWER & DATA POINTS TO BE RETAINED, ALL OTHERS IN AREAS IN SCOPE TO BE REMOVED IN ACCORDANCE WITH ELECTRICAL CONSULTANT REQUIREMENTS.

- FOR FF&E INFORMATION REFER TO DRAWING SERIES 2400
PUG DRAWING PACKAGES.

- CONTRACTOR TO REVIEW FIRE INTEGRITY OF ALL ADJACENT EXISTING FIRE WALLS AND ADVISE OF ANY ISSUES.

- ALLOW FOR OPENING UP WALLS TO INSTALL NOGGING SUPPORT FOR FIXTURES AND MAKING GOOD

SCOPE OF CHANGES

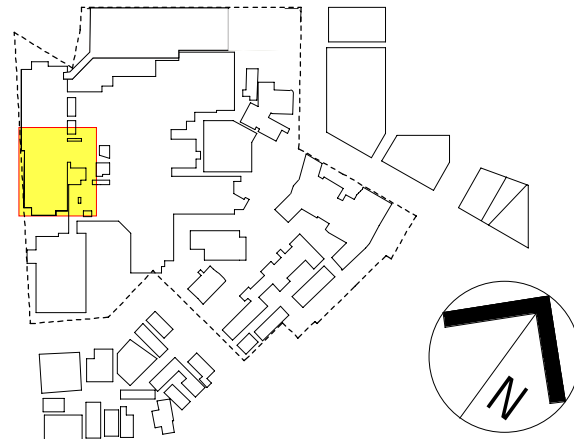
- | | |
|----|--|
| 1 | DEMOLISH EXISTING WALL INCLUDING STUDS, WALL LINING, FIXINGS AND CAP OFF ANY SERVICES WALL. MAKE GOOD TO MATCH ADJACENT WALL. |
| 2 | DEMOLISH EXISTING WALL, PARTIALLY TO CREATE WALL OPENING FOR DOOR. MAKE GOOD WALL OPENING. |
| 3 | DEMOLISH EXISTING GLAZED DOOR AND MAKE GOOD WALL OPENING. |
| 4 | DEMOLISH EXISTING DOOR AND WIDEN DOOR OPENING AS REQUIRED BY NEW DOOR. MAKE GOOD WALL OPENING. |
| 5 | DEMOLISH EXISTING DOOR/WALL AND INFILL WITH MATCHING WALL. |
| 6 | DEMOLISH HYDRAULIC FIXTURES AND CAP OFF SERVICES AND MAKE GOOD WALL AND FLOOR WHERE FIXTURES HAVE BEEN ATTACHED. REMOVE ANY SPLASHBACKS/SPENDERS WHERE NECESSARY. ALLOW TO MAKE GOOD EXISTING WALL AND FLOOR. |
| 7 | DEMOLISH EXISTING GLAZED WALL INCLUDING DOORS, FIXINGS AND MAKE GOOD JOINTS TO MATCH ADJACENT. |
| 8 | PROTECT EXISTING COLUMNS AND ANY ASSOCIATED BEAMS AND OTHER STRUCTURAL ELEMENTS THAT ARE SUPPORTING THE EXISTING AREA TO BE RETAINED. INVESTIGATE STRUCTURE OF EXISTING WALLS TO DETERMINE LOCATION OF ANY COMBUSTIBLE DEMOLITION WORKS TO MAKE SURE THE STRUCTURE IS NOT DAMAGED. |
| 9 | ALLOW UP TO 50MM SCABBING OF SLAB FOR WET ROOM TILES AND FALLS. CONFIRM ALLOWANCE DEPTH ON SITE WITH STRUCTURAL ENGINEER. REFER TO PLAN FOR EXISTENT. |
| 10 | DEMOLISH EXISTING JOINERY AND CAP OFF SERVICES WHERE REQUIRED. MAKE GOOD WALL AND FLOOR FOR NEW WORK. |
| 11 | INVESTIGATE WHERE EXISTING SERVICES ARE LOCATED AND ENGINEERS TO CONFIRM ANY STRUCTURAL, HYDRAULIC REQUIREMENTS. |
| 12 | DEMOLISH FLOOR FINISH. STRIP BACK TO CONCRETE SLAB AND MAKE GOOD FOR NEW FLOOR FINISH. REFER TO FLOOR PLAN TO EXIST. |
| 13 | DEMOLISH CORNER GUARDS AND HAND RAIL AND MAKE GOOD WALL. |

NOTES

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4. JACOBS SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.
5. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS.
6. ALL DRAWINGS TO BE PRINTED IN COLOUR. DO NOT PHOTOCOPY - PRINT ORIGINAL FILE.
7. ELECTRONIC FILE TO BE PROVIDED TO THE PRINCIPALS.
8. VARIATIONS TO WORK SHOWN MUST BE BROUGHT TO THE PRINCIPALS ATTENTION & APPROVED IN WRITING BEFORE PROCEEDING.
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DRAWING TO BE PRINTED IN COLOUR

KEY PLAN



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PROJECT
St George Hospital Stage 3

PROJECT NO.
IA256500

DRAWING TITLE
**DEMOLITION PLAN - ASB - LEVEL 7 -
ZONE 71 & 72**

STATUS

FOR INFORMATION

DRAWN
JACOBSDESIGNE
GA/TM

CHECKED
WB

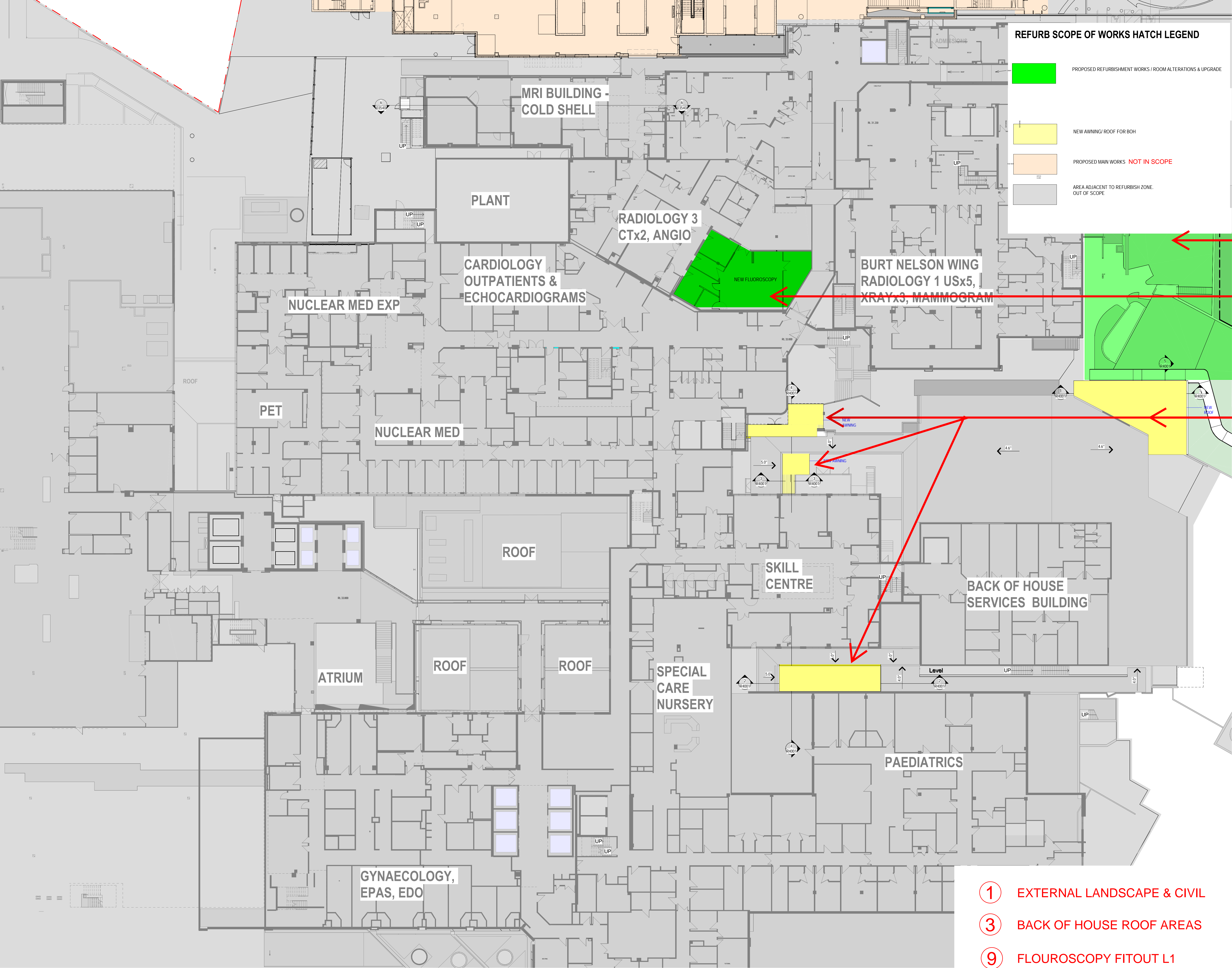
APPROVED
CY

SCALE @ B1
1 : 100

DRAWING NO.
REF2-AR-DG-R1826

REVISION
3

8 PALLIATIVE CARE WORK REFURBISHMENT (L7)



REFURB SCOPE OF WORKS HATCH LEGEND

	PROPOSED REFURBISHMENT WORKS / ROOM ALTERATIONS & UPGRADE
	NEW AWNING / ROOF FOR BOH
	PROPOSED MAIN WORKS NOT IN SCOPE
	AREA ADJACENT TO REFURBISH ZONE, OUT OF SCOPE

REV	DATE	AMENDMENT
3	21.11.24	REISSUE FOR REF
2	12.11.24	REISSUE FOR REF
1	18.10.24	ISSUE FOR REF

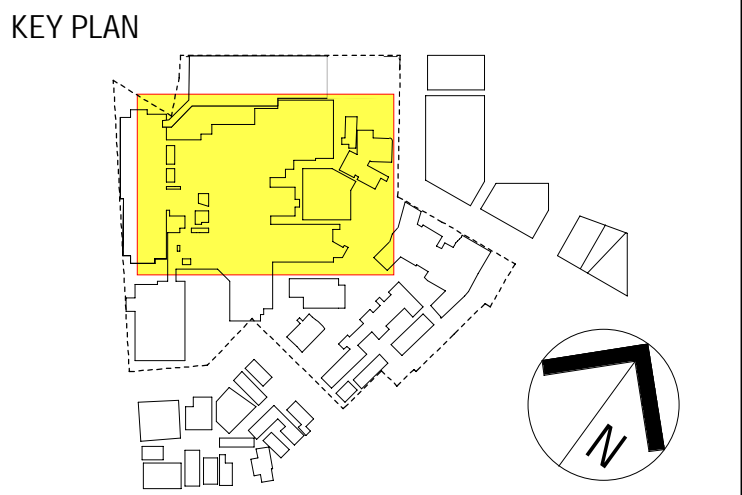
NOTES

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- EXTERNAL LANDSCAPE & CIVIL. ALSO REFER TO LANDSCAPE DRAWING**
- 1**
- 9 FLOUROSCOPY FITOUT**

- 3 BACK OF HOUSE AWNING ROOFS**

DRAWING TO BE PRINTED IN COLOUR



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PROJECT
St George Hospital Stage 3

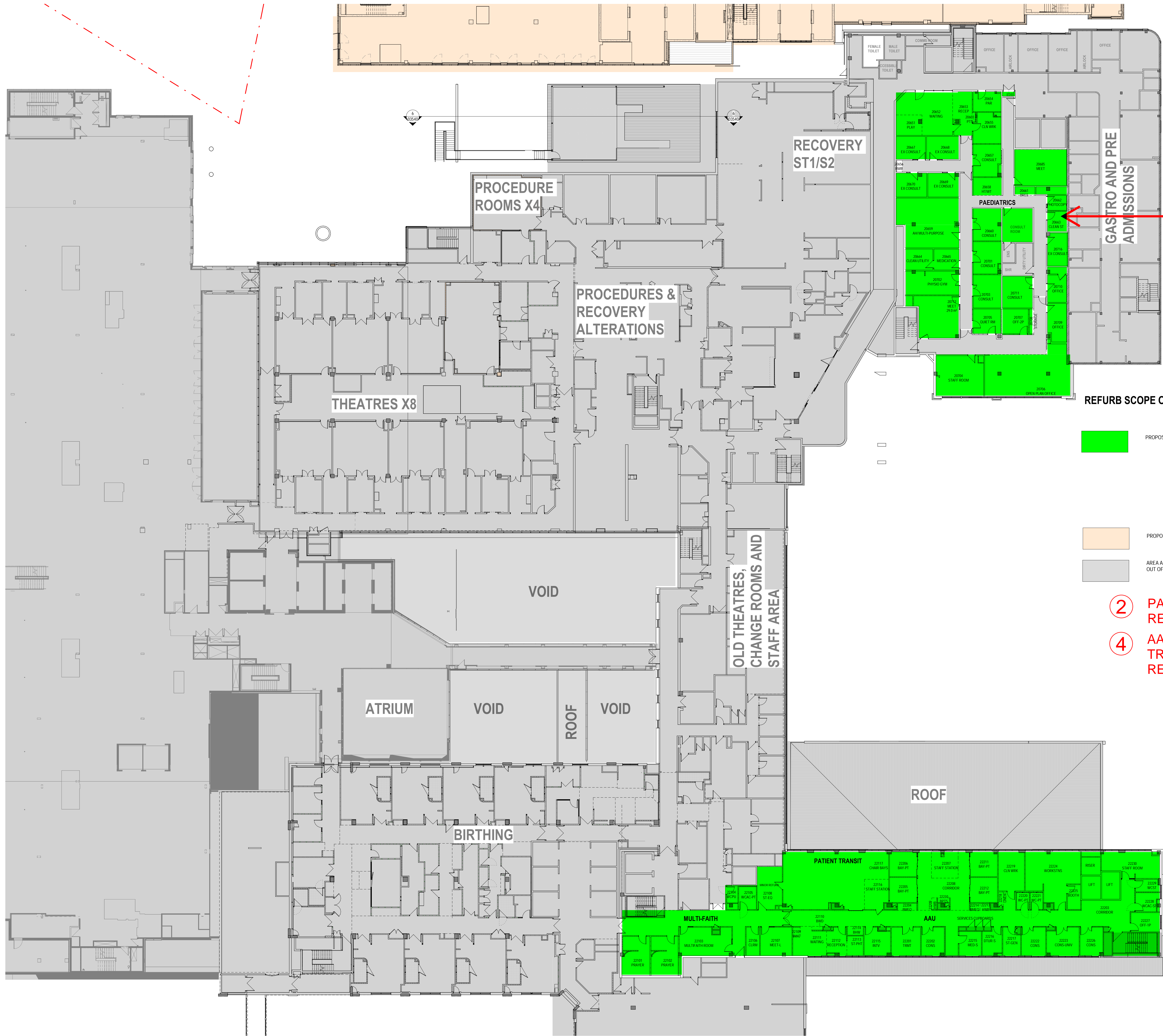
PROJECT NO.
IA256500

DRAWING TITLE
GA PLAN - LEVEL 1

STATUS
FOR INFORMATION

DRAWN JACOBS	DESIGNED GA/TM
CHECKED WB	APPROVED CY
SCALE @ B1 As indicated	
DRAWING NO. REF2-AR-DG-R1511	REVISION 3

- 1 EXTERNAL LANDSCAPE & CIVIL**
- 3 BACK OF HOUSE ROOF AREAS**
- 9 FLOUROSCOPY FITOUT L1**



REFURB SCOPE OF WORKS HATCH LEGEND

PROPOSED REFURBISHMENT WORKS / ROOM ALTERATIONS & UPGRADE

PROPOSED MAIN WORKS NOT IN SCOPE

AREA ADJACENT TO REFURBISH ZONE. OUT OF SCOPE

- 2 PAEDIATRICS AND CYF REFURBISHMENT
- 4 AAU, PATIENT TRANSIT, MULTI-FAITH REFURBISHMENT (L2)

- 4 AAU, PATIENT TRANSIT, MULTI-FAITH REFURBISHMENT (L2)

3	21.11.24	REISSUE FOR REF
2	12.11.24	REISSUE FOR REF
1	18.10.24	ISSUE FOR REF
REV	DATE	AMENDMENT

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DRAWING TO BE PRINTED IN COLOUR

KEY PLAN

CLIENT

NSW GOVERNMENT | Health Infrastructure

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PROJECT

St George Hospital Stage 3

PROJECT NO.

IA256500

DRAWING TITLE

GA PLAN - LEVEL 2

STATUS

FOR INFORMATION

DRAWN

JACOBS

DESIGNED

GA/TM

CHECKED

WB

APPROVED

CY

SCALE @ B1

As indicated

DRAWING NO.

REF2-AR-DG-R1521

REVISION

3



PROPOSED REFURBISHMENT WORKS / ROOM ALTERATIONS & UPGRADE

AREA ADJACENT TO REFURBISH ZONE.
OUT OF SCOPE



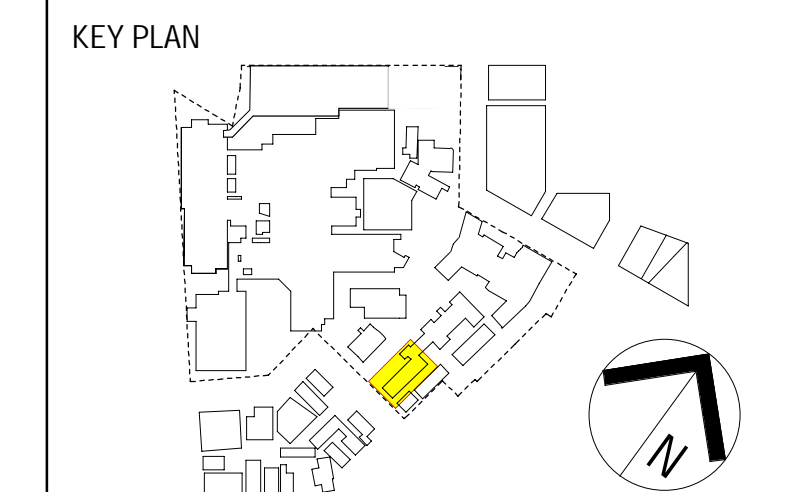
5 SEXUAL HEALTH, ANTENATAL AND GYNAECOLOGY REFURBISHMENT (LG, L1, L2, L3)

NOTES

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PROJECT
St George Hospital Stage 3

PROJECT NO.
IA256500

DRAWING TITLE
**GA PLAN - GROUND - LEVEL 3 -
PRICHARD WING**

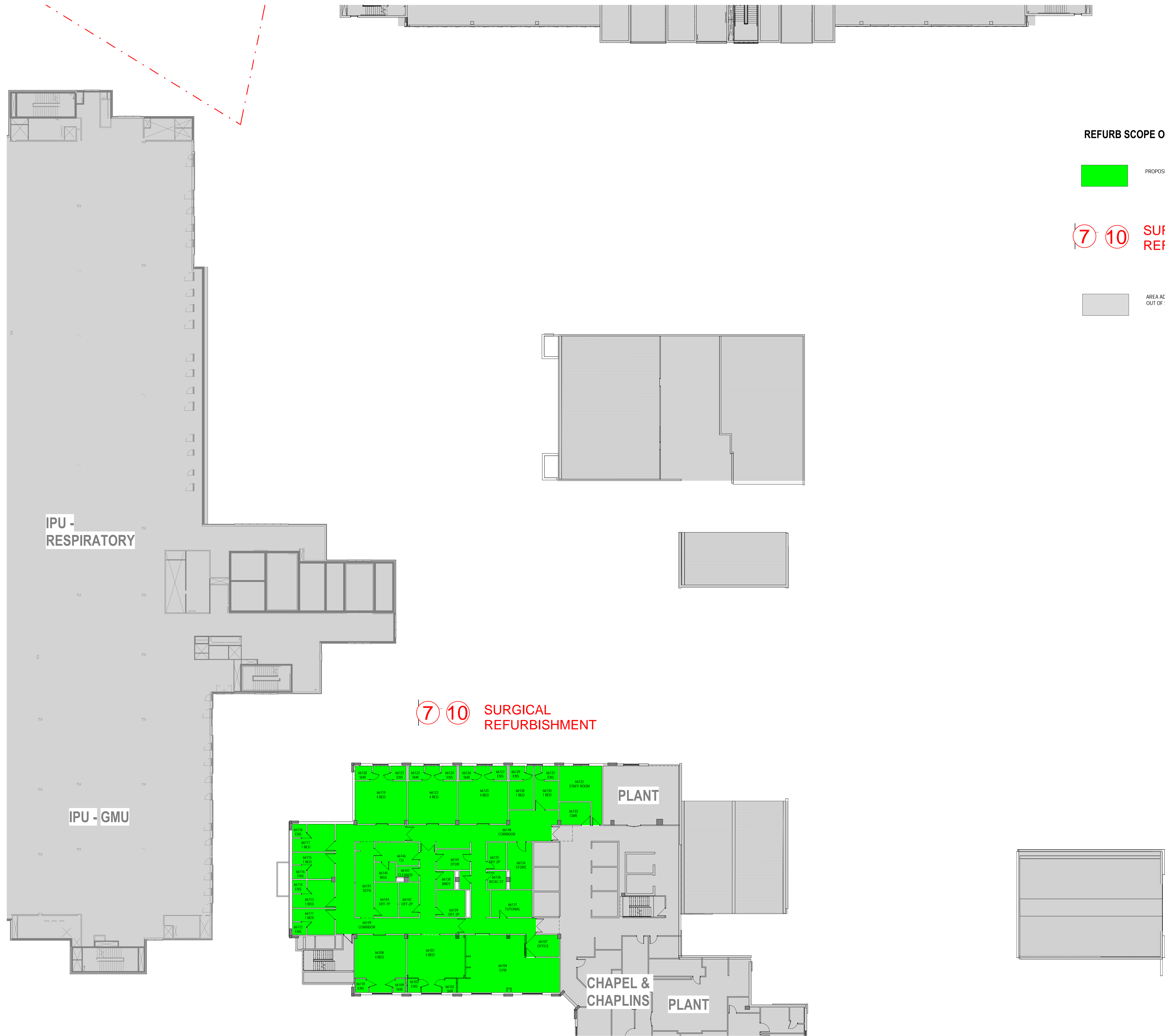
STATUS
FOR INFORMATION

DRAWN JACOBS	DESIGNED GA/TM
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CHECKED WB	APPROVED CY
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SCALE @ B1
As indicated

DRAWING NO.	REVISION
REF2-AR-DG-R15G0	3

[illegible]

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REFURB SCOPE OF WORKS HATCH LEGEND



PROPOSED REFURBISHMENT WORKS / ROOM ALTERATIONS & UPGRADE

7

10

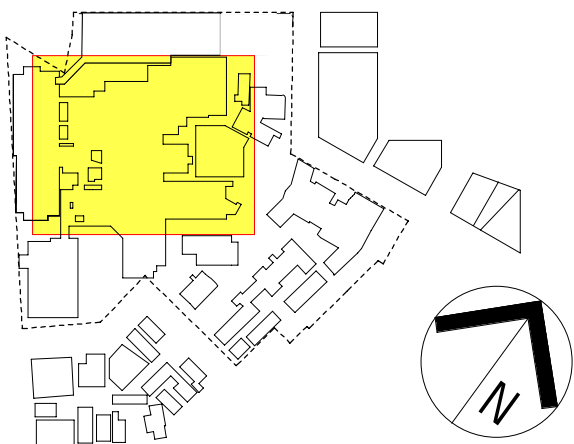
SURGICAL REFURBISHMENT



AREA ADJACENT TO REFURBISH ZONE.
OUT OF SCOPE

DRAWING TO BE PRINTED IN COLOUR

KEY PLAN



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PROJECT

St George Hospital Stage 3

PROJECT NO.

IA256500

DRAWING TITLE

GA PLAN - LEVEL 6

STATUS

FOR INFORMATION

DRAWN
JACOBS

DESIGNED
GA/TM

CHECKED
WB

APPROVED
CY

SCALE @ B1
As indicated

DRAWING NO.
REF2-AR-DG-R1561

REVISION
3

- REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE SCOPE. SETOUT AND DETAILS TO BE COORDINATED.
- REFER TO CIVIL DRAWINGS EXTERNAL DRAINAGE, FINISH & LEVELS. SETOUTS AND DETAILS TO BE COORDINATED
- REFER TO ELECTRICAL DRAWINGS FOR EXTERNAL LIGHTING, CALL POINTS, CAMERAS ETC. SETOUT AND DETAILS TO BE COORDINATED
- REFER TO WAYFINDING PACKAGE FOR EXTERNAL SIGNS. SETOUT AND DETAILS TO BE COORDINATED
- FINAL SETOUT OF RAMP TO BE CONFIRMED WITH THE LHD

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BURT NIELSEN WING

Continue on drawing REF2-AR-DG-R1705

EXTERNAL WORKS OUTSIDE BURT NIELSEN AND SOUTH OF HYDRO THERAPY



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PROJECT
St George Hospital Stage 3

PROJECT NO.
IA256500

DRAWING TITLE
**EXTERNAL WORKS - EASTERN
INFILL AREA - SHEET 1**

STATUS
FOR INFORMATION

DRAWN
JACOBS

DESIGNED
GA/TM

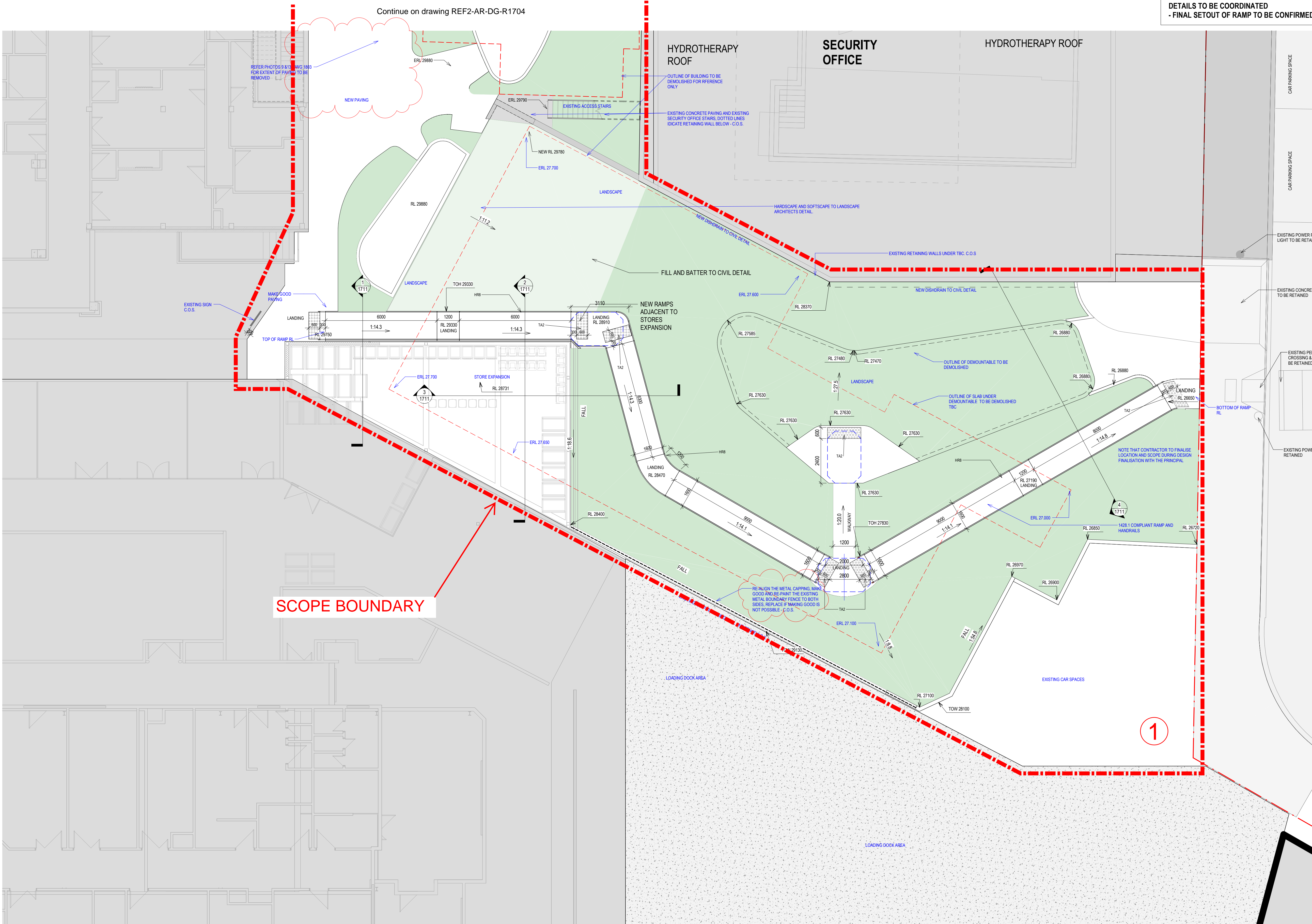
CHECKED WB	APPROVED CY
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SCALE @ B1
1 : 100

DRAWING NO.
REF2-AR-DG-R1704

4

Autodesk Docs\\SI George Hospital Stage 3 - Main Works\\REF2-AR-DG-R1705.rvt 11/02/2025 12:43:37 PM



EXTERNAL WORKS NOTE:

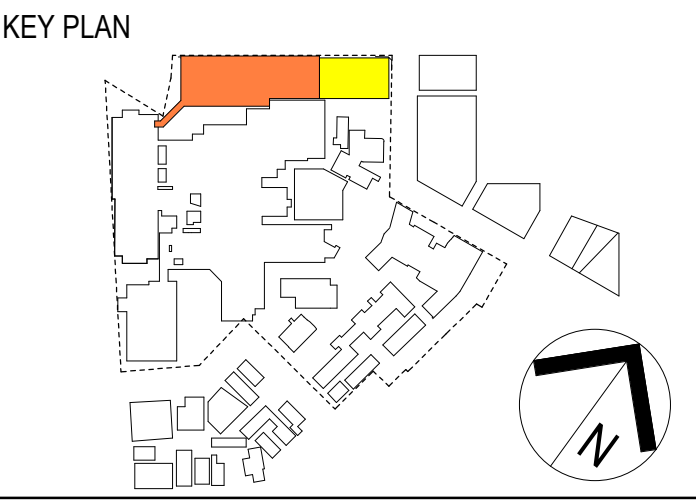
- REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE SCOPE. SETOUT AND DETAILS TO BE COORDINATED.
- REFER TO CIVIL DRAWINGS EXTERNAL DRAINAGE, FINISH & LEVELS. SETOUTS AND DETAILS TO BE COORDINATED
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- FINAL SETOUT OF RAMP TO BE CONFIRMED WITH THE LHD

NOTES

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DRAWING TO BE PRINTED IN COLOUR



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PROJECT

St George Hospital Stage 3

PROJECT NO.

IA256500

DRAWING TITLE

EXTERNAL WORKS - EASTERN INFILL AREA - SHEET 2

STATUS

FOR INFORMATION

DRAWN **JACOBS** **DESIGNED** **GA/TM**

CHECKED **WB** **APPROVED** **CY**

SCALE @ B1

1 : 100

DRAWING NO. **REF2-AR-DG-R1705** **REVISION** **4**

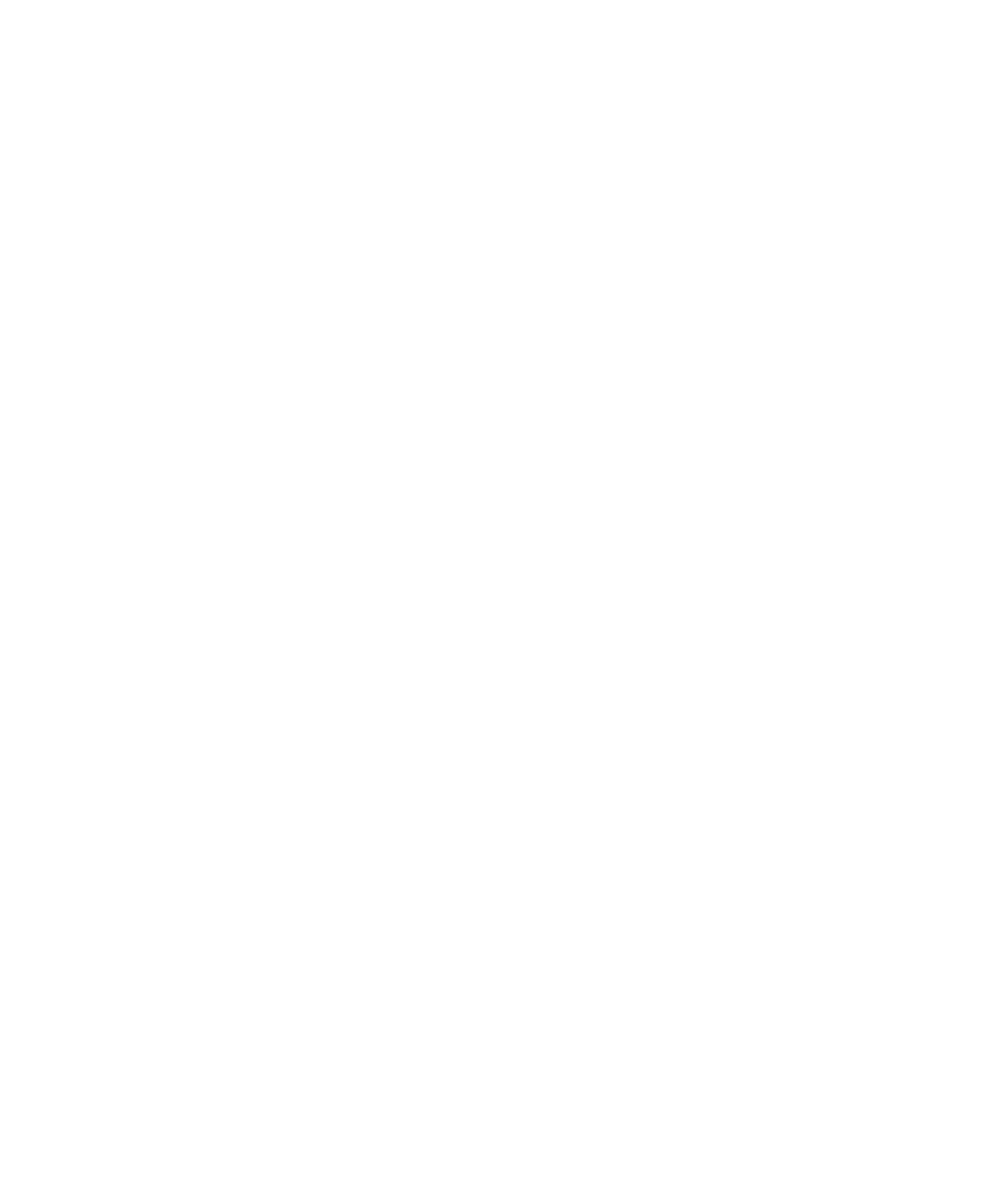
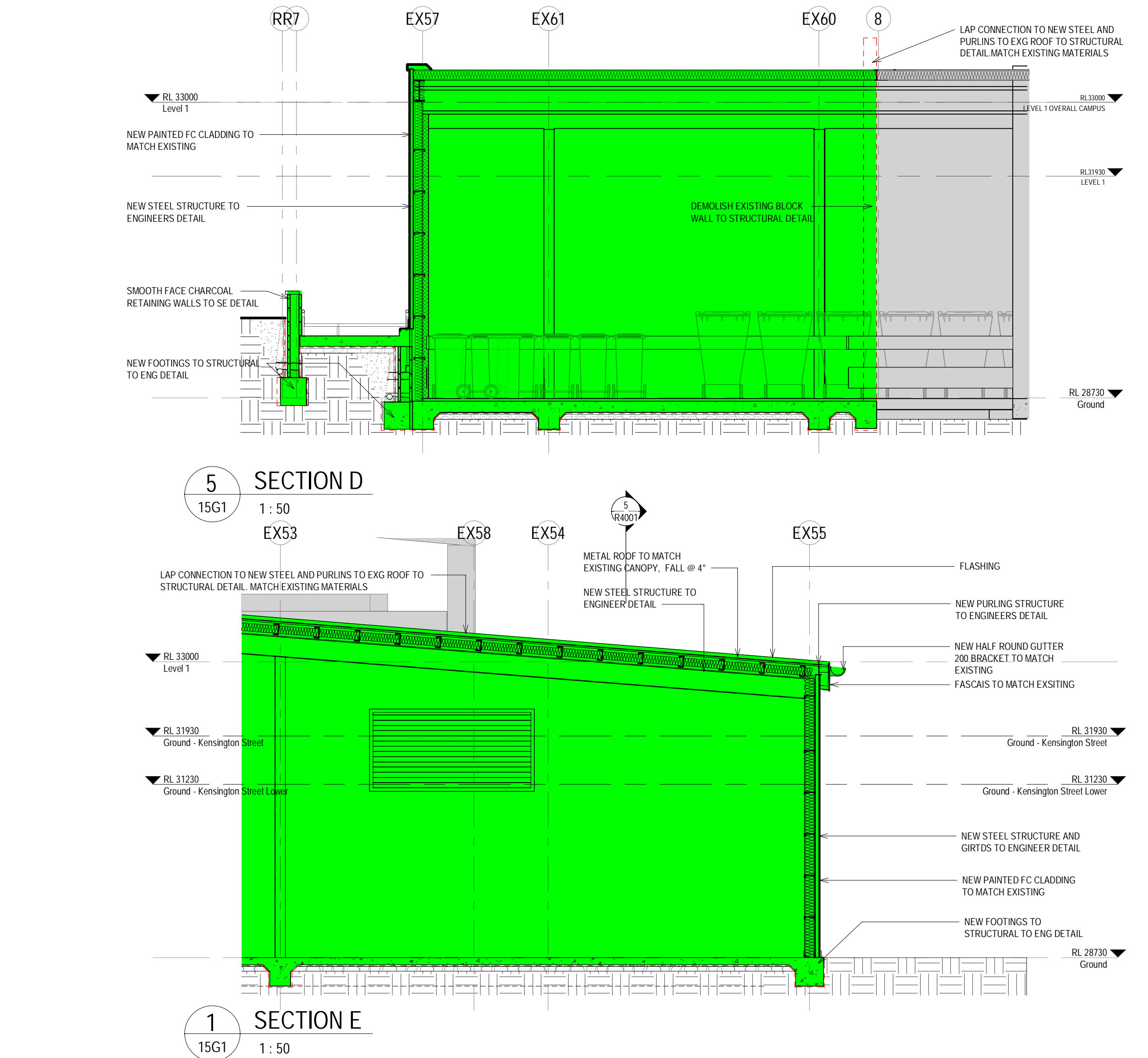
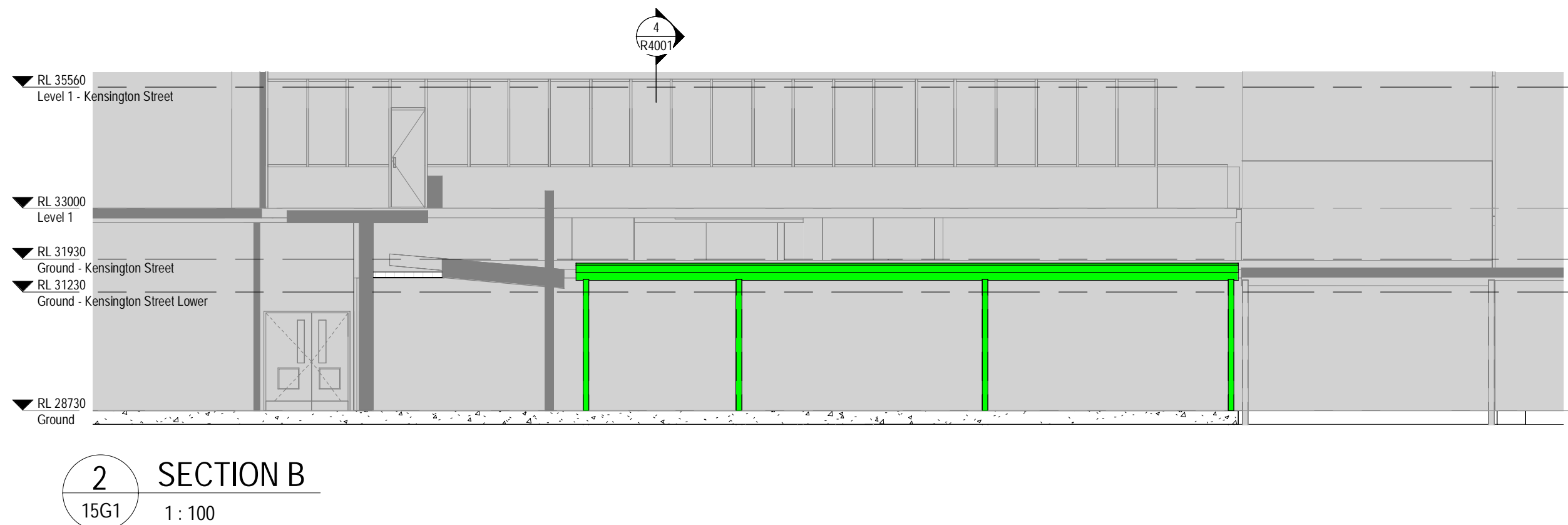
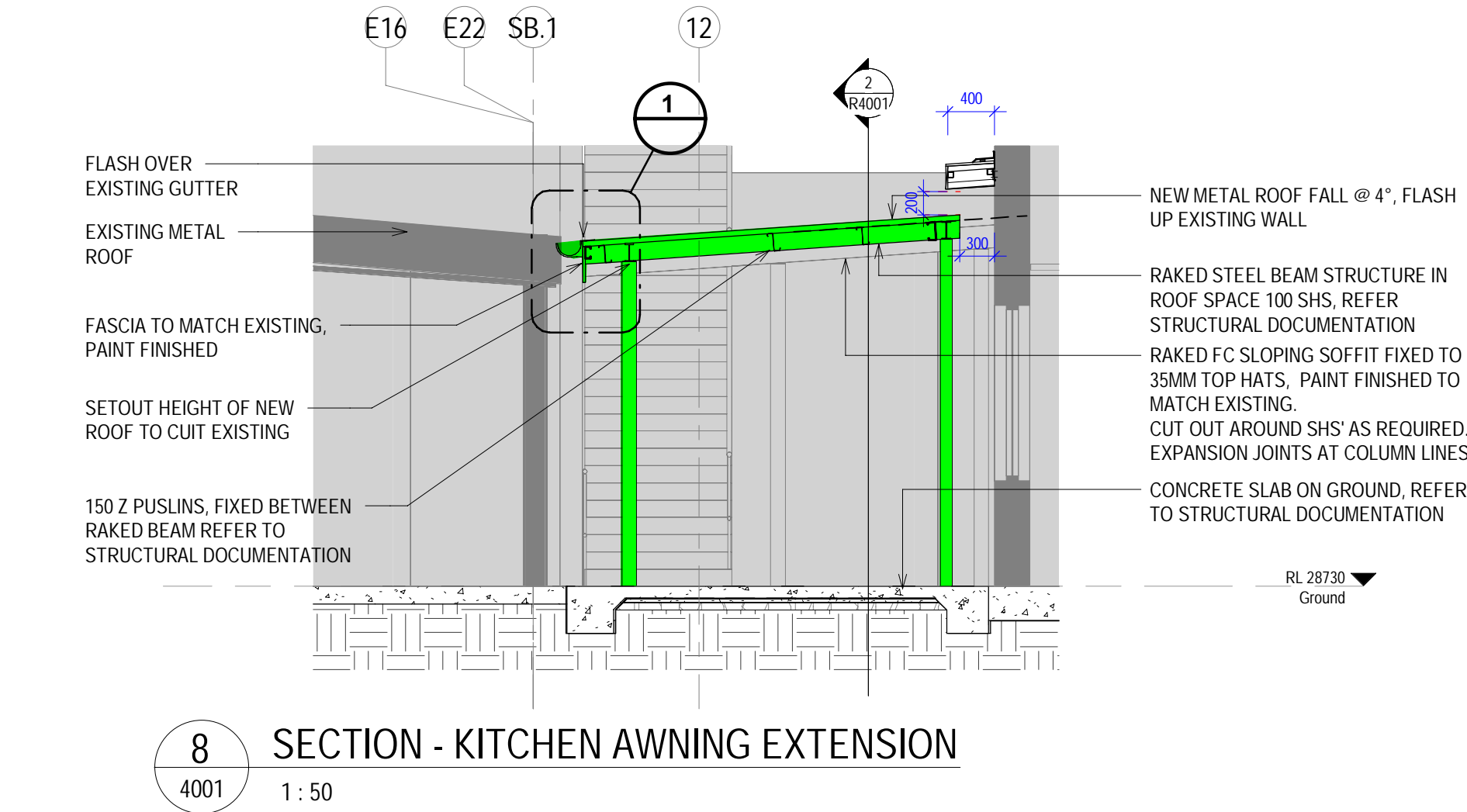
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1 : 100

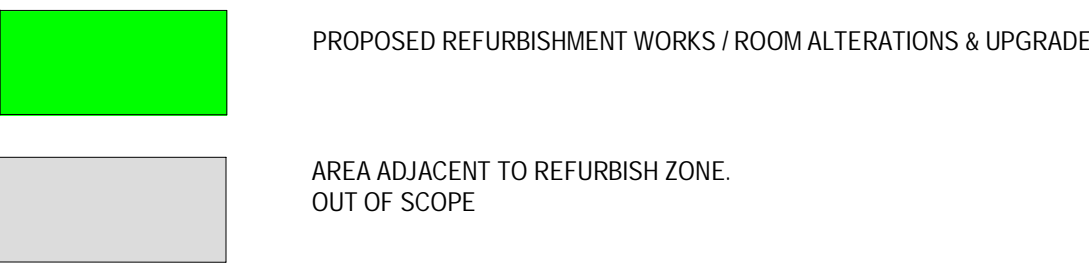
EXISTING.
NOT PART OF SCOPE

EXISTING LOADING DOCK
HARDSTAND

1 **EXTERNAL WORKS OUTSIDE**
BURT NIELSEN AND SOUTH
OF HYDROTHERAPY



REFURB SCOPE OF WORKS HATCH LEGEND



BACK OF HOUSE REFURBISHMENT AND STORES EXPANSION - ELEVATIONS AND SECTIONS

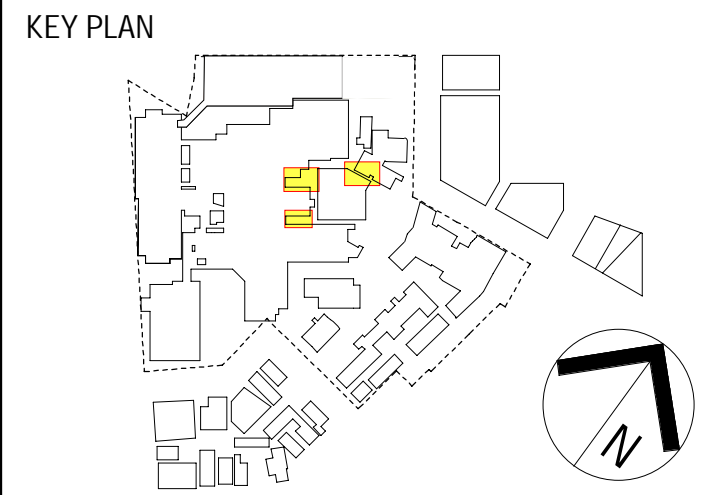
REV	DATE	AMENDMENT
3	21.11.24	REISSUE FOR REF
2	12.11.24	REISSUE FOR REF
1	18.10.24	ISSUE FOR REF

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PROJECT
St George Hospital Stage 3

PROJECT NO.
IA256500

DRAWING TITLE
ELEVATIONS / SECTION - SHEET 1

STATUS
FOR INFORMATION

DRAWN
LH

DESIGNED
LH

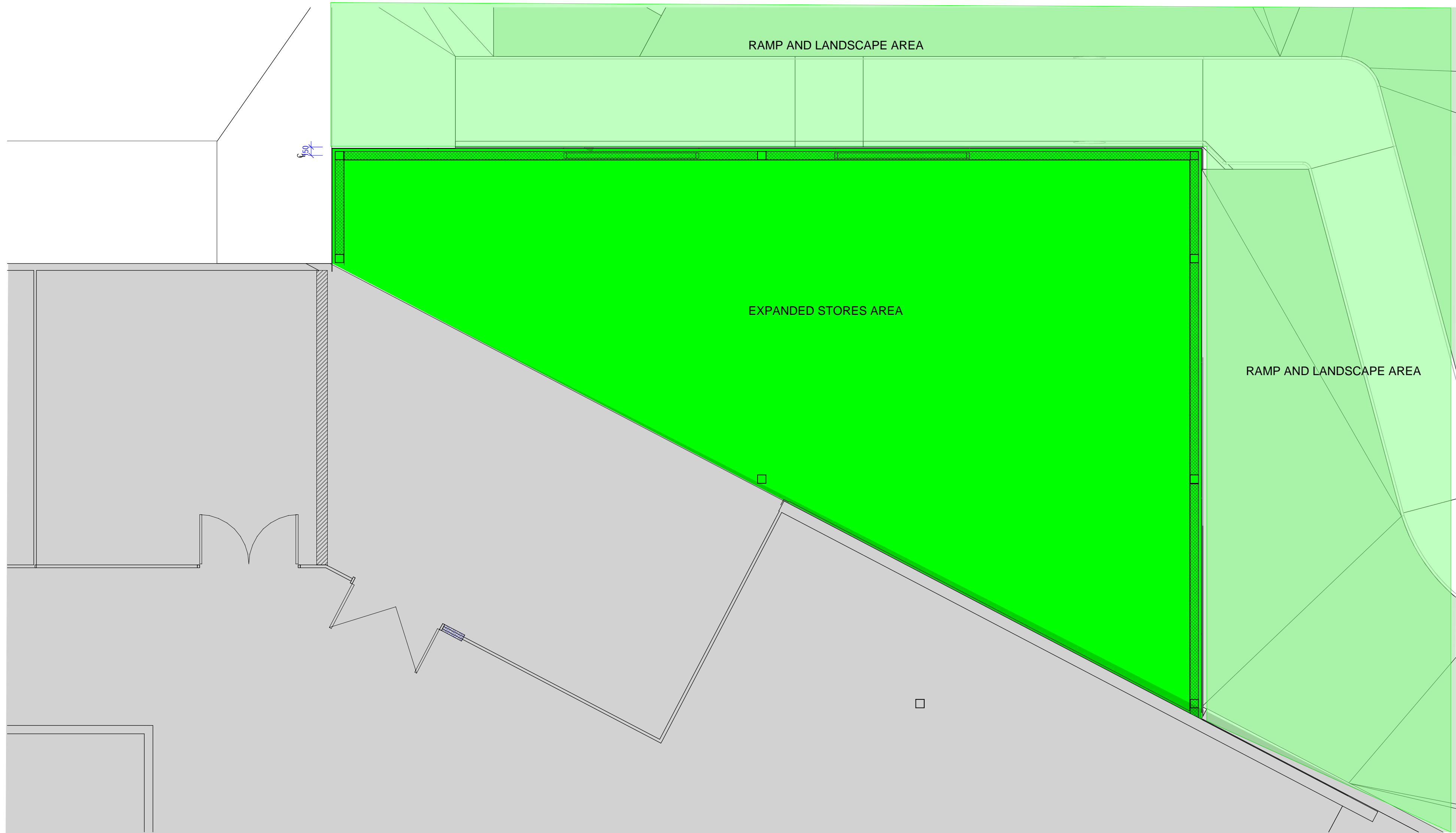
CHECKED
WB

APPROVED
CY

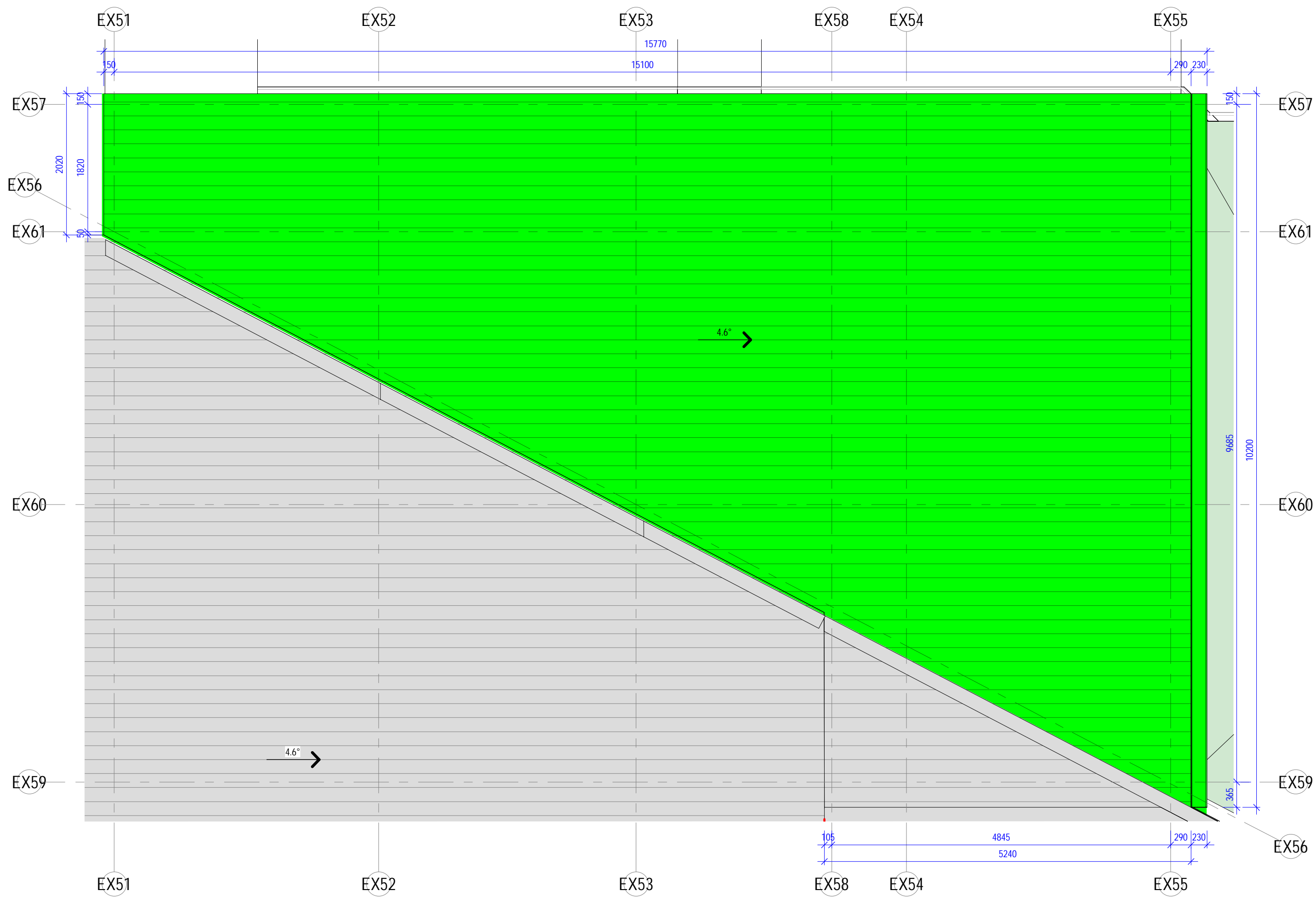
SCALE @ B1
As indicated

DRAWING NO.
REF2-AR-DG-R4001

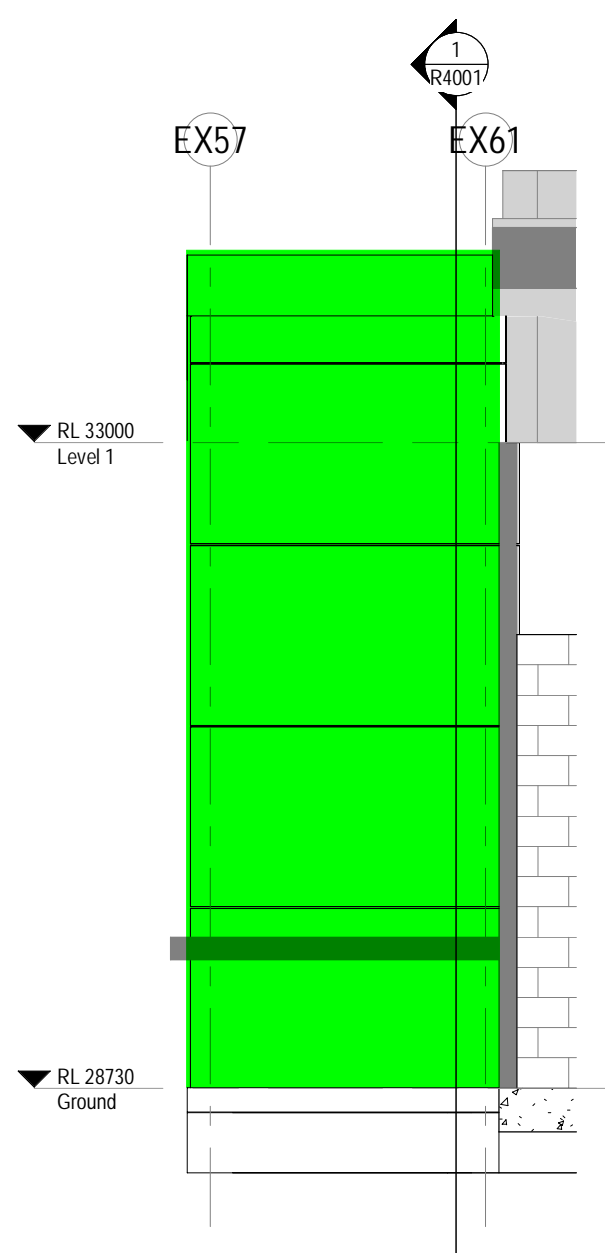
REVISION
3



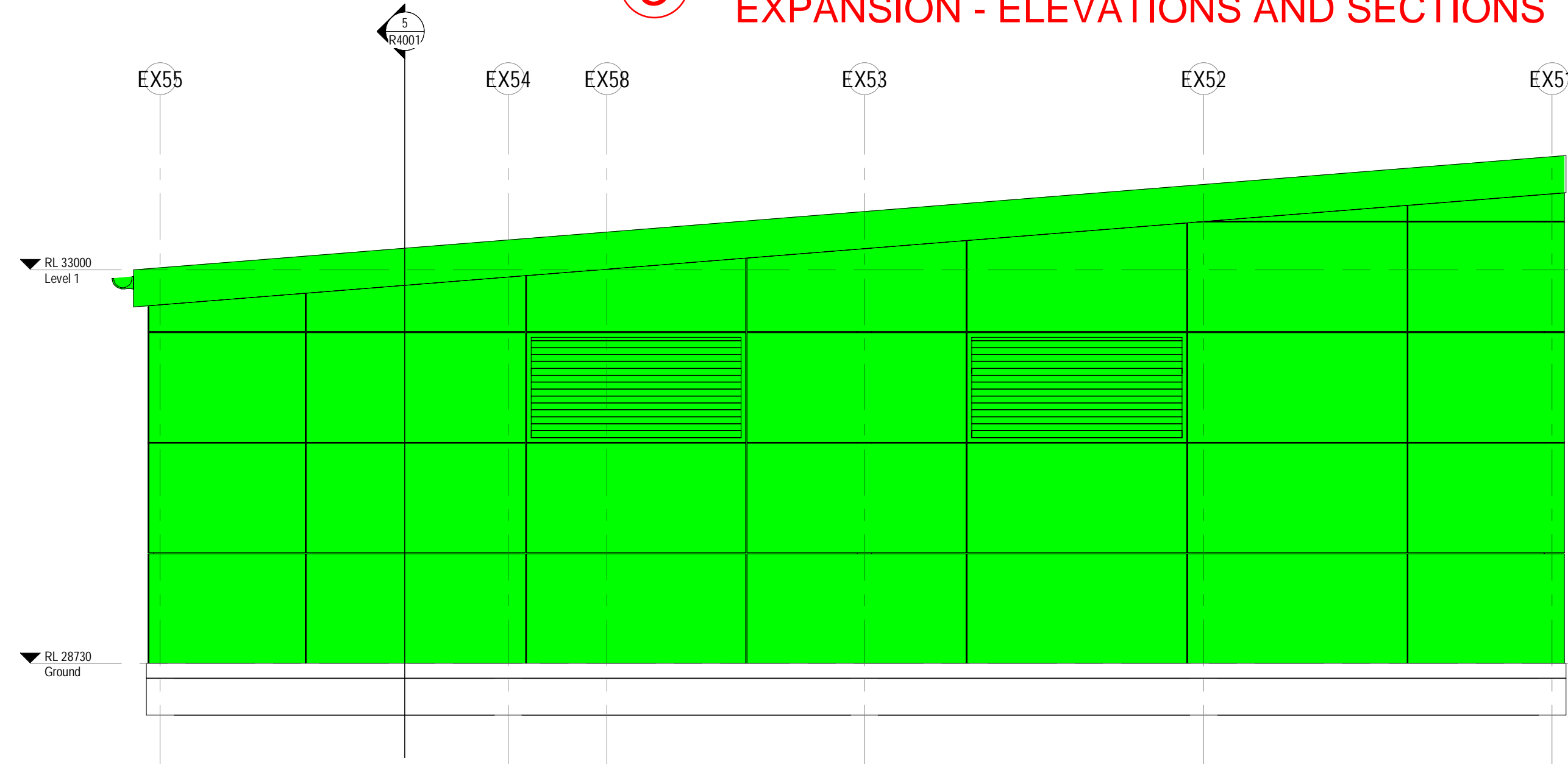
6 CLINICAL WASTE EXTENSION GROUND FLOOR PLAN - REF2
4001 1:50



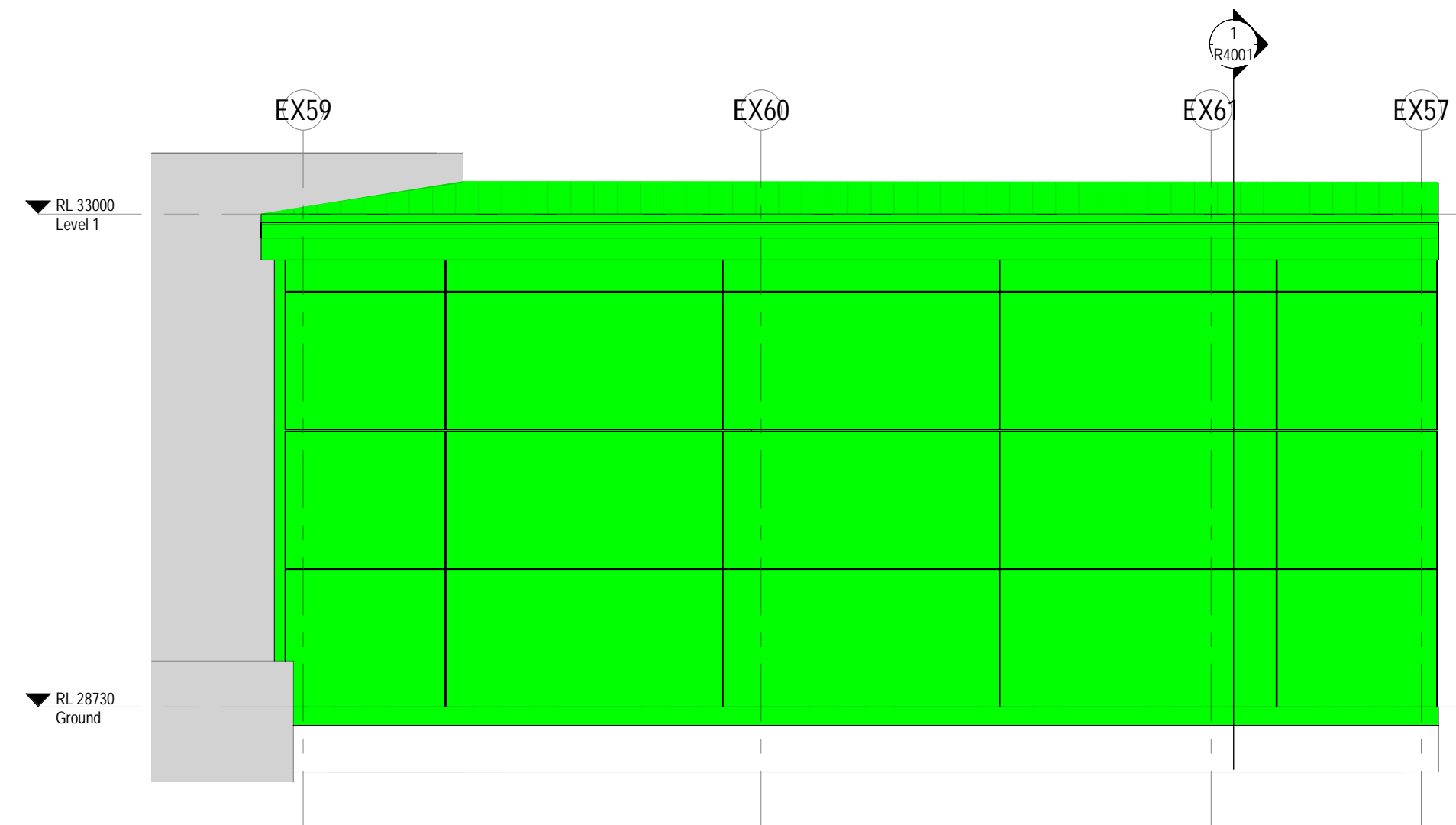
5 ROOF PLAN - REF2
4001 1:50
CLINICAL WASTE EXTENSION



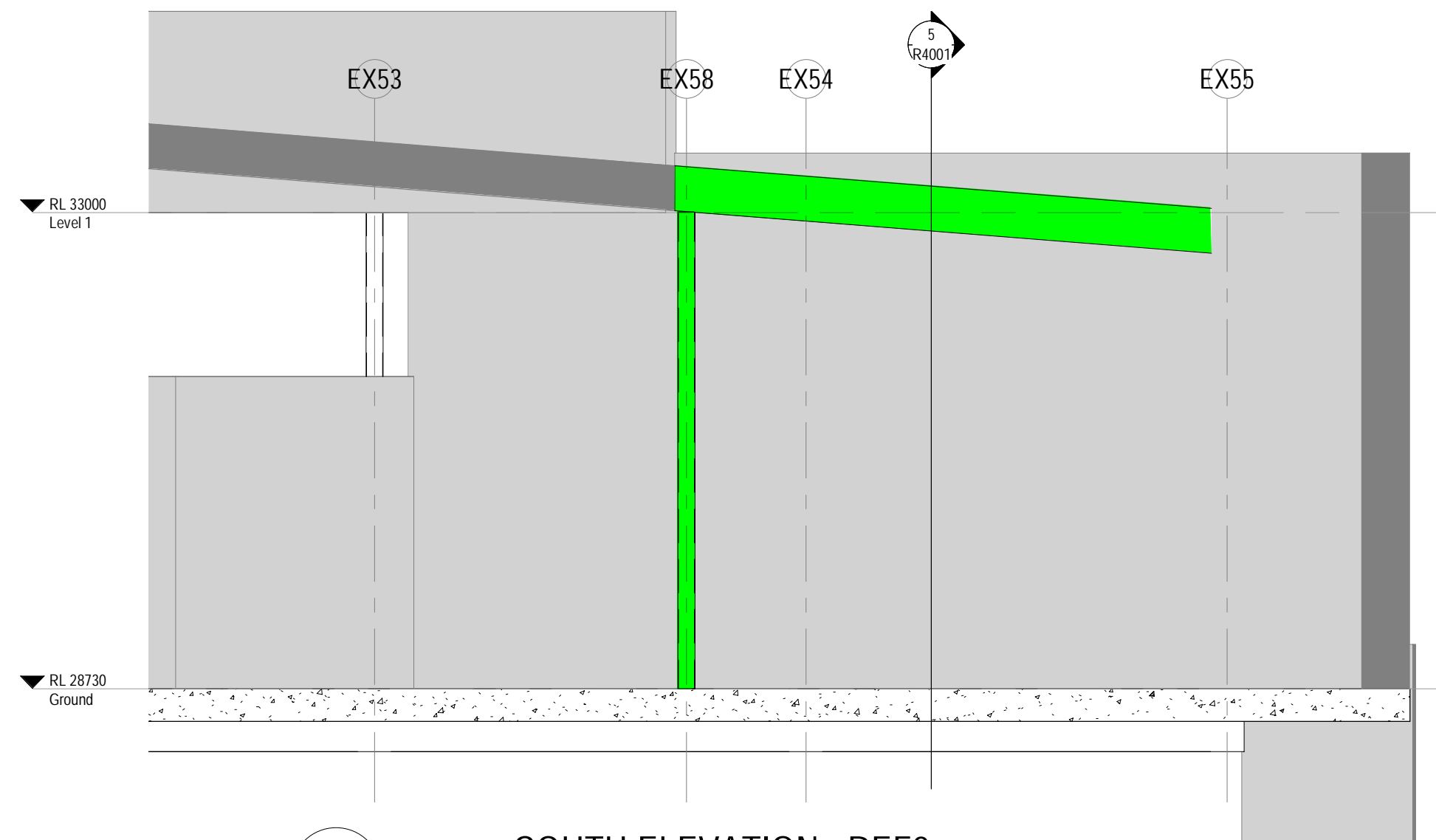
2 WEST ELEVATION - REF2
24G13 1:50
CLINICAL WASTE EXTENSION



3 CLINICAL WASTE EXTENSION NORTH ELEVATION - REF2
24G13 1:50



4 CLINICAL WASTE EXTENSION EAST ELEVATION - REF2
24801 1:50



1 SOUTH ELEVATION - REF2
24G13 1:50
CLINICAL WASTE EXTENSION

REFURB SCOPE OF WORKS HATCH LEGEND

- PROPOSED REFURBISHMENT WORKS / ROOM ALTERATIONS & UPGRADE
- AREA ADJACENT TO REFURBISH ZONE. OUT OF SCOPE

3 BACK OF HOUSE REFURBISHMENT AND STORES EXPANSION - ELEVATIONS AND SECTIONS

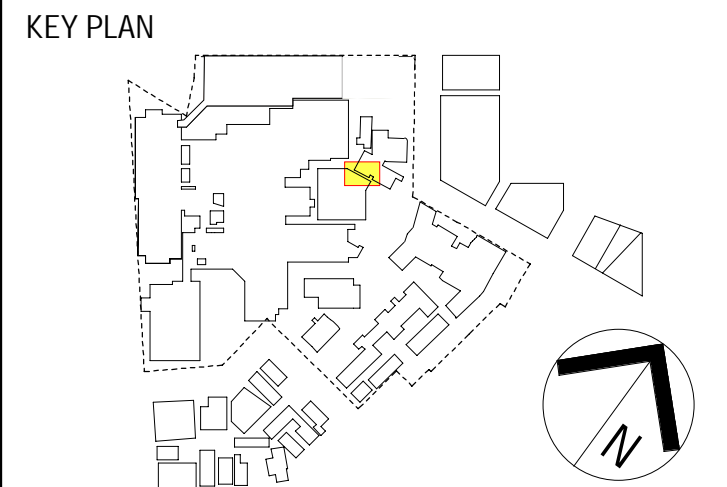
REV	DATE	AMENDMENT
1	18/10/24	ISSUE FOR REF
2	12/11/24	REISSUE FOR REF
3	21/11/24	REISSUE FOR REF

NOTES

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PROJECT

St George Hospital Stage 3

PROJECT NO.
IA256500

DRAWING TITLE

ELEVATIONS / SECTIONS
- SHEET 2

STATUS

FOR INFORMATION

DRAWN
LH

DESIGNED
LH

CHECKED
WB

APPROVED
CY

SCALE @ B1
1:50

DRAWING NO.
REF2-AR-DG-R4002

REVISION
3